

PROJECT CONTACTS

DEVELOPER:
CFT
1120 N. TOWN CENTER DRIVE,
SUITE 150
LAS VEGAS, NV 89144

SURVEYOR
CESO
WILLIAM J. HUFFMAN SR.
216 CENTERVIEW DRIVE, SUITE 150
BRENTWOOD, TN. 37027
OFFICE: 615-238-0690
MOBILE: 423-676-3977
EMAIL: HUFFMAN@CESOINC.COM

WATER DEPARTMENT/AGENCY
ROB LEE
MORRISTOWN UTILITIES SYSTEM
433 W 1ST NORTH ST
MORRISTOWN, TN 37814
PHONE: (423) 586-4121
EMAIL: rreel@musfiber.net

PLANNING AND ZONING AGENCY
JOSHUA G COLE
CITY PLANNER
100 WEST FIRST NORTH ST
MORRISTOWN, TN 37814
JCOLE@MYMORRISTOWN.COM

GAS COMPANY
ATMOS ENERGY
Mr. Ken Lucas
423-612-3168

ARBORIST/LANDSCAPING:
JOSHUA G COLE
CITY PLANNER
100 WEST FIRST NORTH ST
MORRISTOWN, TN 37814
JCOLE@MYMORRISTOWN.COM

ELECTRIC:
TRAVIS LAMBDIN
MORRISTOWN UTILITIES SYSTEM
433 W 1ST NORTH ST
MORRISTOWN, TN 37814
PHONE: (423) 748-3217
EMAIL: tlambdin@musfiber.net

BUILDING DEPARTMENT
MARK JOHNS
BUILDING INSPECTOR
100 WEST FIRST NORTH ST.
MORRISTOWN, TN 37814
OFFICE: (423) 585-4625
PHONE: (423) 312-8422
EMAIL: mjohns@mymorrystown.com

SIGNAGE
STEVEN NEILSON
PLANNING DIRECTOR
423-586-3291
SNEILSON@MYMORRISTOWN.COM

OWNER:
CFT NV DEVELOPMENTS, LLC
1120 N TOWN CENTER DR. #150
LAS VEGAS, NV 89144

FIRE DEPARTMENT
BILLY HALE
FIRE MARSHALL
421 W LOUISE AVE
MORRISTOWN, TN 37813
PHONE: (423) 585-4657
EMAIL: bhale@mymorrystown.com

ENGINEERING DEPARTMENT:
PAUL E. BROWN
PUBLIC WORKS DIRECTOR
4360 DURHAM LANDING
MORRISTOWN, TN 37813
PHONE: (423) 585-4658

SANITARY SEWER DEPARTMENT/AGENCY :
ROB LEE
MORRISTOWN UTILITIES SYSTEM
433 W 1ST NORTH ST
MORRISTOWN, TN 37814
PHONE: (423) 586-4121
EMAIL: rreel@musfiber.net

HEALTH DEPARTMENT
LISA WOFFORD
HAMLIN COUNTY HEALTH DEPARTMENT
331 WEST MAIN ST.
MORRISTOWN, TN 37814
PHONE: (423) 318-1505
EMAIL: lisa.wofford@tn.gov

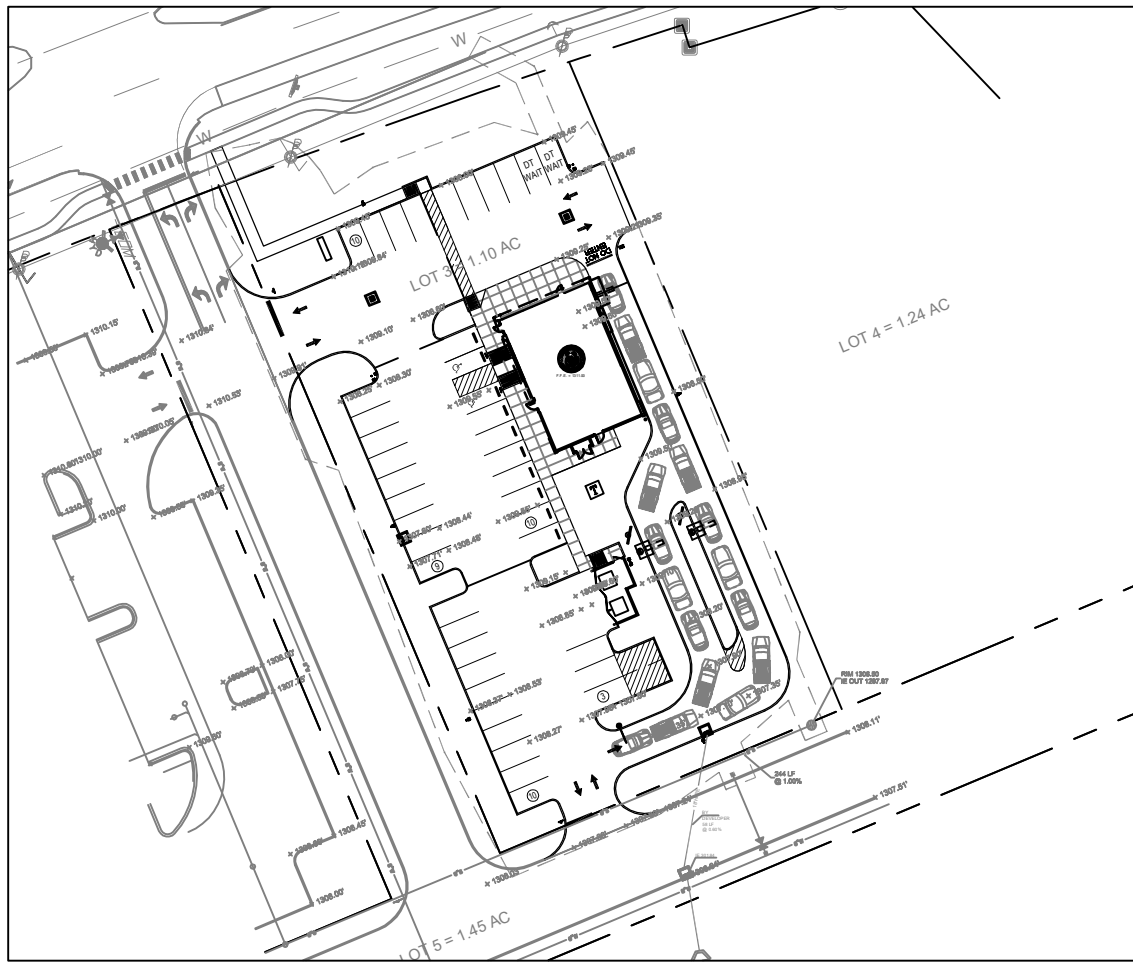
TELEPHONE COMPANY
FIBERNET
MS. KRISTY LACY
433 W 1ST N ST
MORRISTOWN, TN 37814
PHONE: 4233176213
E-MAIL: klacy@musfiber.net

CIVIL CONSTRUCTION PLANS
FOR

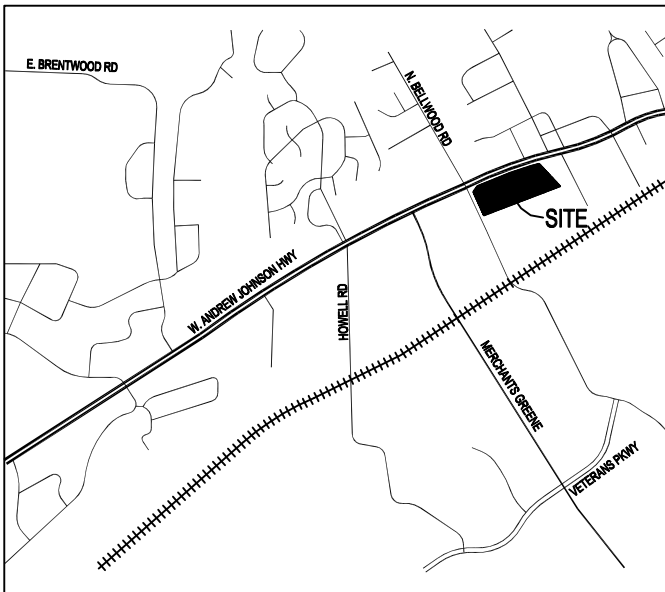


PANDA EXPRESS
4158 ROBERTS LANE
MORRISTOWN, TN 37813

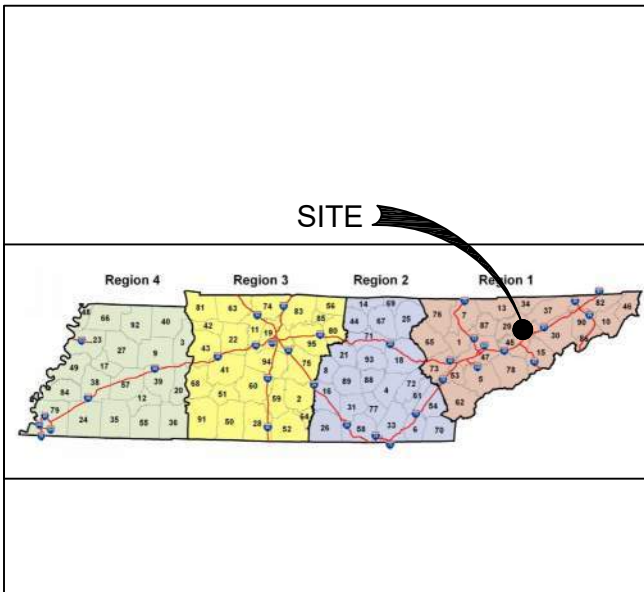
PREPARED FOR:
PANDA EXPRESS INC.
1683 WALNUT GROVE AVE.
ROSEMEAD, CALIFORNIA 91770
PHONE: 626.799.9898
FAX: 626.372.8288



SITE MAP
NOT TO SCALE



LOCATION MAP
NOT TO SCALE



REGIONAL MAP
NOT TO SCALE

CONSTRUCTION NOTE:
DESIGN OF THE PANDA EXPRESS SITE, AS SHOWN IN THESE PLANS, ARE BASED
UPON THE PROPOSED CONSTRUCTION PLANS FOR THE SUBJECT PROPERTY AND
SURROUNDING SITE WORK. CONTRACTOR SHALL FIELD VERIFY ELEVATIONS,
UTILITIES, AND SITE FEATURES PRIOR TO ANY WORK DONE. NOTIFY
OWNER/ENGINEER OF ANY CONFLICTS WITH DESIGN PRIOR TO ANY WORK DONE.

SHEET INDEX

NO.	TITLE	ISSUE 01 - (PERMIT/BID) 03/03/2022	ISSUE 02 - (CITY COMMENTS) 04/28/2022						
C01.0	CIVIL COVER SHEET	●	●						
C01.1	GENERAL NOTES	●	●						
C02.0	ALTA/ACSM SURVEY (BY OTHERS)	●	●						
C02.1	DEMOLITION PLAN	●	●						
C03.0	SITE PLAN	●	●						
C03.1	HARDSCAPE DETAILS 1	●	●						
C03.2	HARDSCAPE DETAILS 2	●	●						
C04.0	UTILITY PLAN	●	●						
C04.1	UTILITY DETAILS	●	●						
C05.0	GRADING PLAN	●	●						
C05.1	DRAINAGE PLAN	●	●						
C05.2	GRADING DETAILS	●	●						
C06.0	INITIAL EPSC PLAN	●	●						
C06.1	FINAL EPSC PLAN	●	●						
C06.2	ESPC DETAILS	●	●						
L01.0	LANDSCAPE PLAN	●	●						
L01.1	LANDSCAPE PLAN	●	●						
A-407	TRASH ENCLOSURE DETAILS		●						
L-1	LIGHTING PLAN		●						

SITE DATA TABLE

- ZONING:
IB - INTERMEDIATE BUSINESS
- REQUIRED BUILDING SETBACKS:
FRONT (N)= 35'
REAR (S) = 10'
SIDE (E) = 15'
SIDE (W) = 15'
- SITE ACREAGE:
PANDA EXPRESS = 47,916 SF / 1.10 ACRES
- FLOOR AREA RATIO:
PANDA EXPRESS = 2,661 SF BLDG / SITE AREA
47,916 = 5.55%
- PROPOSED SITE IMPERVIOUS SURFACE RATIO
TOTAL SITE = 47,916 SF
PAVEMENT/SIDEWALKS = 28,449 SF
BUILDING = 2,661 SF
TOTAL IMPERVIOUS = 31,110 SF
TOTAL PERVIOUS = 16,806 SF
PERCENT IMPERVIOUS = 64.93%
- PARKING
RESTAURANT: 1/100 SF
PANDA EXPRESS - 2,661 SF = 27 SPACES
TOTAL REQUIRED NON-ADA PARKING: 25
TOTAL ADA PARKING: 2
TOTAL PARKING PROVIDED: 42
- REQUIRED PARKING SETBACKS:
FRONT (W)= 10'
REAR (E) = NA
SIDE (N) = NA
SIDE (S) = NA
- FLOOD HAZARD:
F.I.R.M. MAP NO. 47068C0130E

GENERAL NOTES

THIS SITE HAS BEEN DESIGNED TO MEET CITY OF MORRISTOWN TENNESSEE STANDARDS AND THE
APPROVAL OF THE PLANNING COMMISSION. CHANGES SHALL NOT BE MADE TO THE APPROVED SITE PLAN
UNLESS APPROVED BY EITHER THE RELEVANT DEPARTMENT SUPERINTENDENT OR THE PLANNING
COMMISSION

THE OWNER AND ENGINEER DO NOT ASSUME RESPONSIBILITY FOR THE POSSIBILITY THAT, DURING
CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED OR THAT ACTUAL
LOCATION OF THOSE SHOWN MAY BE DIFFERENT FROM LOCATIONS DESIGNATED ON THE CONTRACT
DRAWINGS. IN AREAS WHERE IT IS NECESSARY THAT EXACT LOCATIONS BE KNOWN OF UNDERGROUND
UTILITIES, THE CONTRACTOR SHALL AT HIS OWN EXPENSE, FURNISH ALL LABOR AND TOOLS TO EITHER
VERIFY AND SUBSTANTIATE OR DEFINITELY ESTABLISH THE POSITION OF UNDERGROUND UTILITY LINES.

BOUNDARY AND TOPOGRAPHIC SURVEY PREPARED BY OTHERS. CIVIL ENGINEERING SERVICES AND
THEIR CONSULTANTS SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF
THE THIS INFORMATION SHOWN.

PANDA EXPRESS DM
CHRIS POPE
480-221-6969
E-MAIL: chris.pope@PandaRG.com

PANDA EXPRESS REM:
DAVE RITTENBERRY
615-417-3444
E-MAIL: Dave.Rittenberry@PandaRG.com

PANDA EXPRESS PM:
MARK SCHULTZ
832-683-9885
E-MAIL: Mark.Schultz@PandaRG.com



PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
Rosemead, California
91770
Telephone: 626.799.9898
Facsimile: 626.372.8288

All ideas, designs, arrangement and plans indicated or
represented by this drawing are the property of Panda
Express Inc. and were created for use on this specific project.
None of these ideas, designs, arrangements or plans may be
used by or disclosed to any person, firm, or corporation
without the written permission of Panda Express Inc.

REVISIONS:

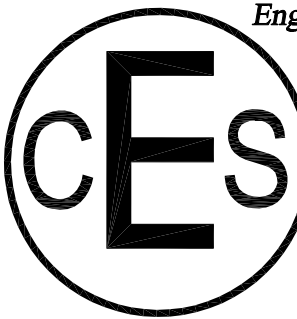
ISSUE DATE:

PERMIT / BID SET	03-03-22
CITY COMMENTS	04-29-22
ISSUE FOR BID	06-10-22

DRAWN BY: PTD

PANDA PROJECT #: S8-21-D8512
PANDA STORE #: D8512
ARCH PROJECT #: XXXX-XXX

Civil Engineering Services
Engineering, Land Planning



7705 Spicer Farm Lane
Fairview, Tennessee
37062
Phone: (615) 533-0401

e-mail: ray@civilengineeringservices.net



PANDA EXPRESS

TRUE WARM & WELCOME
4158 ROBERTS LANE
MORRISTOWN, TN 37813

COVER SHEET

C01.0

TRUE WARM & WELCOME 2300 R3

UTILITY NOTES

1.

ALL SEWER, ELECTRIC, AND TELEPHONE SERVICE LINES AND EXTENSIONS ARE TO BE CONSTRUCTED TO THE RESPECTIVE UTILITY COMPANY SPECIFICATIONS. UTILITY DISCONNECTIONS TO BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.
2.

THE GENERAL CONTRACTOR IS PARTICULARLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF THE EXISTING UTILITIES SHOWN HEREON IS BASED ON UTILITY COMPANY RECORDS, AND WHERE POSSIBLE, FILLED MEASUREMENTS. THE CONTRACTOR SHALL NOT RELY UPON THIS INFORMATION HAS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS PRIOR TO THE EXCAVATION AND REQUEST FIELD VERIFICATION OF UTILITY LOCATIONS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO RELOCATE EXISTING UTILITIES CONFLICTING WITH IMPROVEMENTS SHOWN HEREON IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
3.

BEFORE INSTALLATION OF WATER LINES, STORM SEWERS OR SANITARY SEWERS, THE CONTRACTOR SHOW EXCAVATE AND VERIFY ALL CROSSINGS AND INFORM THE OWNER AND THE ENGINEER OF ANY CONFLICTS. THE ENGINEER WILL BE HELD HARMLESS IN THE EVENT HE IS NOT NOTIFIED OF DESIGN CONFLICTS PRIOR TO CONSTRUCTION.
4.

ALL SEWER CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE LOCAL SERVICE PROVIDER SEWER SPECIFICATIONS AND DETAILS (LATEST REVISIONS).
5.

ALL SEWER SERVICE LINES, SHALL BE TESTED BY THE CONTRACTOR. THE TESTS SHALL BE CONDUCTED IN THE PRESENCE OF THE LOCAL SERVICE PROVIDER REPRESENTATIVE.
6.

THE CONTRACTOR SHALL PAY ANY APPLICABLE WATER AND SEWERAGE SERVICES INSPECTION FEES.
7.

THE CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES, TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN, REPAIR ANY DAMAGE, ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTORS EXPENSE, AND COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
8.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SEQUENCING OF CONSTRUCTION FOR ALL UTILITY LINES SO THAT WATER LINES AND GAS LINES DO NOT CONFLICT WITH SANITARY SEWERS, SANITARY SEWER SERVICES OR STORM SEWERS.
9.

WATER SERVICE PIPE SHALL BE POLYETHYLENE (PE), DR9, LOCATION AND SIZE OF WATER SERVICE SHALL BE SHOWN ON THE UTILITY PLAN, IN COORDINATION WITH REPRESENTATIVES OF THE LOCAL WATER AUTHORITY.
10.

SEWER SERVICE SHALL BE 6" DIAMETER NON-PRESSURE POLYVINYL CHLORIDE PIPE (PVC) CONFORMING TO ASTM D 3034, SDR 26, WITH PUSH-ON RUBBER GASKETS. INSTALL IN THE LOCATIONS SHOWN HERE ON.
11.

CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN THE USE OF EQUIPMENT IN AND AROUND OVERHEAD AND UNDERGROUND ELECTRICAL WIRES AND SERVICES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK THE CONTRACTOR MUST WORK IN THE CLOSE PROXIMITY OF THE ABOVE NOTED WIRES, THE ELECTRIC COMPANY SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES TAKEN. A THOROUGH EXAMINATION OF THE OVERHEAD AND UNDERGROUND WIRES IN THE PROJECT AREA SHOULD BE MADE BY THE CONTRACTOR PRIOR TO THE INITIATION OF CONSTRUCTION.
12.

THE OWNER AND ENGINEER DO NOT ASSUME RESPONSIBILITY FOR THE POSSIBILITY THAT, DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED OR THAT ACTUAL LOCATIONS OF THOSE SHOWN MAY BE DIFFERENT FROM LOCATIONS DESIGNATED ON THE CONTRACT DRAWINGS. IN AREAS WHERE IT IS NECESSARY THAT EXACT LOCATIONS BE KNOWN OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, FURNISH ALL LABOR AND TOOLS NECESSARY TO EITHER VERIFY AND SUBSTANTIATE OR DEFINITELY ESTABLISH THE POSITION OF UNDERGROUND UTILITY LINES.
13.

THE DEVELOPER IS TO SCHEDULE A PRECONSTRUCTION CONFERENCE WITH THE CONTRACTOR, THE DEVELOPERS ENGINEER, THE CITIES REPRESENTATIVE AND THE CITIES ENGINEER.
14.

DO NOT SCALE THIS DRAWING AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
15.

REMOVE ALL FOUNDATIONS, UNDERGROUND TANKS, PAVING, BASE ETC. IF REMAINING, BEFORE BEGINNING CONSTRUCTION.
16.

FILL ALL PLANTERS/ISLANDS TO TOP OF CONCRETE CURB WITH TOPSOIL. TOPSOIL TO BE CLEAN AND FREE OF DEBRIS, ETC.
17.

THESE PLANS, PREPARED BY CIVIL ENGINEERING SERVICES, DID NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE CIVIL ENGINEERING SERVICES REGISTERED PROFESSIONAL ENGINEER HERE ON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. CONSTRUCTION CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
18.

IN THE CASE OF CONFLICT BETWEEN THIS DRAWING AND ANY OTHER DRAWING AND/OR THE SPECIFICATIONS. THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED FOR CLARIFICATION.
19.

ANY AND ALL FEES, LICENSES AND PERMITS NECESSARY FOR THIS CONSTRUCTION ARE TO BE OBTAINED PRIOR TO THE INITIATION OF CONSTRUCTION AND THE COST OF SAME TO BE BORNE BY THE CONTRACTOR.
20.

FOR WATER SERVICE ALL CORPORATION STOPS SHALL CONFORM TO LOCAL SERVICE PROVIDER SPECS.
21.

FITTINGS SHALL BE BRASS, CAST AND MACHINED IN ACCORDANCE WITH AWWA C800 AND AWWA C901, WITH COMPATIBLE PIPE CONNECTIONS.
22.

SERVICE SADDLES AND ANCHORS SHALL CONFORM TO ALL SERVICE PROVIDER SPECIFICATIONS.
23.

ALL SEWER SERVICE FITTINGS AND ACCESSORIES SHALL BE MANUFACTURED OR SUPPLIED BY THE PIPE MANUFACTURER OR PRIOR-APPROVED EQUAL.
24.

BEDDING AND INITIAL BACKFILL OVER SEWER MAINS AND SERVICES SHALL CONFORM TO THE GEOTECHNICAL REPORT RECOMMENDATIONS OR LOCAL SERVICE PROVIDER RECOMMENDATION WHICH EVER IS MORE STRICT.
25.

ALL UTILITY SERVICES IN EXISTING ROADS SHALL BE INSTALLED BY BORING. ALL TRENCHES IN EXISTING PARKING LOTS SHALL UTILIZE A CLEAN SAW CUT AND SHALL BE BACKFILLED (100 %) TO FINAL SUBGRADE WITH #57 STONE. REPAIR ROADS PER CITY REQUIREMENTS.
26.

ALL SANITARY SEWER OUTSIDE OF BUILDING MUST BE SCHEDULE 40 PVC
27.

ELLIPTICAL RCP SHALL CONFORM TO ASTM C 507 (CLASS III) AND AASHTO M 207 STANDARD SPECIFICATIONS.

UTILITY NOTES CONTINUED

28.

REINFORCED CONCRETE PIPE (RCP); O-RING SHALL CONFORM TO ASTM C 76 (CLASS III, UNLESS OTHERWISE SPECIFIED) AND AASHTO M 170 STANDARD SPECIFICATIONS, AND ASTM C 443 STANDARD SPECIFICATIONS FOR JOINTS FOR RCP USING RUBBER GASKETS.
29.

ELLIPTICAL RCP SHALL CONFORM TO ASTM C 507 (CLASS III) AND AASHTO M 207 STANDARD SPECIFICATIONS.
30.

HDPE PIPE AND FITTINGS SHALL MEET THE REQUIREMENTS OF AASHTO M 25 (3"-10"), M 294 (12" AND LARGER), TYPE S (CORRUGATED OUTSIDE - SMOOTH INSIDE, 4" - 60"), AND MP 7 (60" TYPE S).
31.

BELL/SPIGOT GASKET FOR HDPE PIPE SHALL BE SOIL/SILT TIGHT PER AASHTO SECTION 26 WITH RUBBER GASKET MEETING ASTM F 477.
32.

PVC STORM SEWER PIPE (12" O' LESS) AND FITTINGS SHALL BE NON-PRESSURE PVC CONFORMING TO ASTM D 3034, SDR 26, WITH PUSH-ON RUBBER GASKET JOINTS.
33.

REPAIR ALL DAMAGE TO EXISTING FEATURES(I.E. DRIVES, ROADS, YARDS, LANDSCAPING, ETC.) TO PRECONSTRUCTION CONDITION.
34.

COORDINATE THE EXACT LOCATION OF ALL UTILITIES ENTERING THE BUILDING WITH THE PLUMBING PLANS PROVIDED BY OTHERS.
35.

THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE MANUAL OF ACCIDENT PREVENTION AND CONSTRUCTION ISSUED BY AGC OF AMERICA.
36.

SOME UTILITIES CAN BE LOCATED BY CALLING THE TENNESSEE ONE CALL. THE CONTRACTOR SHALL CALL "811", PRIOR TO PROCEEDING WITH ANY EXCAVATION.
37.

REPAIR EXISTING PAVEMENT, CURBS, WALKS, LANDSCAPING, ETC. THAT ARE DAMAGED BY CONSTRUCTION ACTIVITIES TO A LIKE NEW CONDITION AT NO ADDITIONAL COST TO THE OWNER.
38.

THE PROPOSED GAS LINE CONSTRUCTION AND INSTALLATION SHALL BE COORDINATED WITH THE LOCAL GAS COMPANY BY THE CONTRACTOR.
39.

THE PROPOSED ELECTRIC LINE CONSTRUCTION AND INSTALLATION SHALL BE COORDINATED WITH THE LOCAL ELECTRIC COMPANY BY THE CONTRACTOR.
40.

THE PROPOSED TELEPHONE LINE CONSTRUCTION AND INSTALLATION SHALL BE COORDINATED WITH THE LOCAL TELEPHONE COMPANY BY THE CONTRACTOR.
41.

THE CONTRACTOR WILL PROVIDE ALL NECESSARY PROTECTIVE MEASURES TO SAFEGUARD EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION OF THIS PROJECT. IN THE EVENT THAT SPECIAL EQUIPMENT IS REQUIRED TO WORK OVER AND AROUND THE UTILITIES THE CONTRACTOR WILL BE REQUIRED TO FURNISH SUCH EQUIPMENT AT NO ADDITIONAL COST TO THE OWNER.
42.

PRIOR TO SUBMITTING HIS BID. THE CONTRACTOR WILL BE SOLELY RESPONSIBLE FOR CONTACTING OWNERS OF ALL AFFECTED UTILITIES IN ORDER TO DETERMINE THE EXTENT TO WHICH UTILITY RELOCATIONS AND/OR ADJUSTMENTS WILL HAVE UPON THE SCHEDULE OF WORK FOR THE PROJECT. WHILE SOME WORK MAY BE REQUIRED AROUND UTILITY FACILITIES THAT WILL REMAIN IN PLACE, OTHER UTILITY FACILITIES MAY NEED TO BE ADJUSTED CONCURRENTLY WITH THE CONTRACTORS OPERATIONS.
43.

FIRE HYDRANT ASSEMBLIES (IF REQUIRED ON THESE PLANS) INCLUDE THE APPROPRIATE SIZED TEE (WITH KICKER), 6" LINE TO HYDRANT, 6" GATE VALVE (WITH VALVE BOX), AND FIRE HYDRANT (WITH KICKER). HYDRANT SHALL BE INSTALLED AT LOCATION SHOWN ON THE PLANS.
44.

BACKFLOW PREVENTION DEVICE FOR THE DOMESTIC WATER SERVICE SHALL BE LOCATED INSIDE THE BUILDING UNLESS OTHERWISE SPECIFIED IN THESE PLANS. COORDINATE WITH LOCAL SERVICE PROVIDER.
45.

MAINTAIN 18" MINIMUM VERTICAL CLEARANCE AT UTILITY CROSSING.

GRADING & DRAINAGE NOTES

1.

SEE LANDSCAPE PLAN FOR REQUIRED TREES AND GROUND COVER.
2.

SLOPE OF SURFACE GRADE SHALL BE A MINIMUM OF 1.00%
3.

MAXIMUM CUT OF FILL SLOPES IS 2H:1V.
4.

THE CONTRACTOR SHALL PROVIDE CLEAN, SUITABLE MATERIAL FOR REQUIRED FILL. SHOULD A SUFFICIENT QUANTITY OF SUITABLE MATERIAL NOT BE AVAILABLE FROM THE REQUIRED EXCAVATION ON THE SITE.
5.

ALL FILL SHOULD BE PLACED IN THIN, HORIZONTAL LOOSE LIFTS (MAXIMUM 6-INCH) AND COMPACTED TO AT LEAST 98 PERCENT OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D 698). THE UPPER 8 INCHES OF SOIL BENEATH PAVEMENTS AND SLAB-ON-GRADE SHOULD BE COMPACTED TO GEOTECHNICAL RECOMMENDATIONS AND MUST BE CERTIFIED BY A TENNESSEE REGISTERED PROFESSIONAL SOILS ENGINEER PRIOR TO THE INSTALLATION OF PAVEMENTS, CURBS, SIDEWALKS OR FOOTINGS OF ANY TYPE.
6.

DETENTION POND, DETENTION OUTLET STRUCTURES AND TEMPORARY SEDIMENT POND FEATURES ARE TO BE FULLY CONSTRUCTED AND OPERATIONAL PRIOR TO ANY OTHER CONSTRUCTION OR GRADING ON THE SITE AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
7.

LENGTH OF RIP-RAP PADS AT PIPE OUTLET STRUCTURES TO BE A MINIMUM LENGTH OF (6) SIX TIMES THE DIAMETER OF THE PIPE.
8.

JURISDICTIONAL LAND DISTURBANCE PERMIT MUST BE DISPLAYED ON SITE AT ALL TIMES DURING CONSTRUCTION AND IN PLAIN VIEW FROM A PUBLIC ROAD OR STREET.

EROSION CONTROL NOTES

1.

SEDIMENT BARRIERS AND CONSTRUCTION ENTRANCE SHALL BE PLACED AS INDICATED ON THE PLAN PRIOR TO ANY GRADING WORK.
2.

DUST CONTROL ON SITE SHALL BE KEPT WITHIN ACCEPTABLE LIMITS BY SPRINKLING WITH WATER OR OTHER ACCEPTABLE METHODS.
3.

MAXIMUM SLOPES SHALL NOT EXCEED 3:1. CUT AND FILL SLOPES 3:1 SHALL BE STABILIZED BY EROSION CONTROL FABRIC, HYDROSEEDING, SOD, OR OTHER ACCEPTABLE METHODS.
4.

ADDITIONAL EROSION CONTROL DEVICES SHALL BE INSTALLED IMMEDIATELY BEFORE GROUND DISTURBANCE OCCURS. THE LOCATION OF SOME OF THE EROSION CONTROL DEVICES MAY HAVE TO BE ALTERED FROM THAT SHOWN ON THE PLANS IF DRAINAGE PATTERNS DURING CONSTRUCTION ARE DIFFERENT FROM THE FINAL PROPOSED DRAINAGE PATTERNS. IT IS THE CONTRACTORS RESPONSIBILITY TO ACCOMPLISH EROSION CONTROL FOR ALL DRAINAGE PATTERNS CREATED AT VARIOUS STAGES DURING CONSTRUCTION. ANY DIFFICULTY IN CONTROLLING EROSION DURING ANY PHASE OF CONSTRUCTION SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
5.

THE LOCATIONS OF EROSION CONTROL DEVICES SHALL BE ADJUSTED AS CONSTRUCTION PROGRESSES TO MAINTAIN A FUNCTIONAL EROSION CONTROL SYSTEM.
6.

ANY FAILURE OF ANY EROSION CONTROL DEVICE TO FUNCTION AS INTENDED FOR ANY REASON SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
7.

EROSION CONTROL DEVICES SHALL BE INSPECTED AFTER EACH RAINFALL EVENT AND AT LEAST DAILY DURING PROLONGED PERIODS OF CONTINUOUS RAINFALL.
8.

EROSION CONTROL DEVICES SHALL BE REPAIRED AS NECESSARY TO MAINTAIN A FUNCTIONAL EROSION CONTROL SYSTEM.
9.

EROSION CONTROL DEVICES SHALL BE MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED AND THEN REMOVED SO THAT DRAINAGE OF THE SITE IS NOT IMPEDED.
10.

ANY CUT OR FILL SLOPES 3:1 OR GREATER SHALL BE STABILIZED WITHIN 7 DAYS OF COMPLETING WORK ON THE SLOPES.
11.

CLEAN SILT BARRIERS WHEN THEY ARE APPROXIMATELY 50% OBSTRUCTED BY SEDIMENT OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE. SILT BARRIERS SHALL BE REPLACED AS EFFECTIVENESS IS SIGNIFICANTLY REDUCED.
12.

TOPSOIL SHALL BE RE-SPREAD A MINIMUM DEPTH OF 6" OVER ALL DISTURBED AREAS.
13.

AREAS THAT HAVE BEEN STRIPPED, CUT SLOPES, FILL SLOPES OR AREAS OTHER WISE DISTURBED SHALL HAVE PERMANENT STABILIZATION APPLIED (GRASS, SOD, ETC.). PERMANENT STABILIZATION SHALL BE PLACED PRIOR TO ACCEPTANCE OF FINAL GRADING.
14.

REMOVE SEDIMENT FROM ALL DRAINAGE STRUCTURES PRIOR TO ACCEPTANCE BY THE OWNER.

DEMOLITION NOTES

1.

PRIOR TO COMMENCEMENT OF DEMOLITION THE CONTRACTOR WILL COORDINATE HIS ACTIVITIES WITH ALL THE UTILITY COMPANIES SERVING THIS AREA. CONTRACTOR IS TO COORDINATE FULLY WITH UTILITY COMPANIES ON EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO EXCAVATION.
2.

THE CONTRACTOR IS TO COMPLETELY REMOVE AND DISPOSE OF ALL STRUCTURES AND BUILDINGS THAT ARE SO INDICATED INCLUDING FOUNDATIONS, TIMBER AND BRUSH, EXCEPT AS OTHERWISE INDICATED; STUMPS AND ROOTS; EXISTING PAVEMENT; OTHER STRUCTURES AS SHOWN OR REASONABLY IMPLIED IN THE DRAWINGS.
3.

EXCEPT IN AREAS WHERE EXISTING TREES SHALL BE PRESERVED, A MINIMUM DEPTH OF REMOVAL SHALL BE (2) FOOT BELOW SUBGRADE. IN ROADWAY AREAS AND TO ORIGINAL SOILS ELSEWHERE. WHERE EXISTING BUILDINGS ARE TO BE DEMOLISHED, ALL TRACES OF FOUNDATIONS AND UNDERGROUND UTILITIES ARE TO BE REMOVED (UNLESS OTHERWISE NOTED ON PLANS). THE CONTRACTOR IS RESPONSIBLE FOR PROPER DISPOSAL OF ALL WASTER MATERIAL.
4.

WHERE PAVING OR STRUCTURES ARE TO BE REMOVED WHICH ABUT OR ARE A PART OF CONNECTED FACILITIES (THAT ARE OFF-SITE), RESTORATION OF ANY DAMAGE THAT MIGHT RESULT FROM DEMOLITION IS TO BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTING UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. THE COST FOR SUCH RESTORATION SHALL BE INCIDENTAL TO OTHER CONSTRUCTION AND NO EXTRA COMPENSATION WILL BE ALLOWED.
5.

THE LOCATION OF ALL EXISTING UTILITIES, STORM DRAINAGE AND TREES SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER OR ENGINEER ASSUMES NO RESPONSIBILITY FOR ACCURACY. PRIOR TO THE START OF DEMOLITION THE CONTRACTOR SHALL VISIT THE SITE AND DETERMINE THE EXISTENCE & LOCATION OF ALL STRUCTURES, UTILITIES & TREES SHOWN OR NOT SHOWN ON THE PLANS, WHICH WOULD NEED TO BE REMOVED OR PRESERVED.
6.

THE CONTRACTOR IS TO COORDINATE THE RELOCATION OR REMOVAL OF ALL OVERHEAD/UNDERGROUND UTILITIES, UTILITY POLES, LIGHTS AND LINES IN THE RIGHT-OF-WAY AND ON THE PROPERTY WITH THE APPROPRIATE PROVIDER.
7.

THE CONTRACTOR SHALL REFERENCE AND RESTORE PROPERTY CORNERS AND LAND MARKERS DISTURBED DURING CONSTRUCTION. (UNDER THE DIRECTION OF A REGISTERED LAND SURVEYOR IN THE STATE OF THE PROJECT SITE)
8.

REMOVE AND DISCARD ALL EXISTING ASPHALT PAVEMENT AND BASE MATERIAL AT LEAST 6" BELOW ASPHALT WITHIN THE LIMITS SHOWN. EXISTING SUBBASE MATERIAL MAY BE REUSED PROVIDED IT IS STABILIZED AND COMPACTED PER THE TYPICAL PAVEMENT DETAIL.
9.

PRIOR TO COMMENCEMENT OF DEMOLITION, CONTRACTOR SHALL OBTAIN ANY DEMOLITION PERMITS REQUIRED.

GENERAL NOTES

1.

THE CONTRACTOR(S) SHALL REMOVE ALL OBSTRUCTIONS, BOTH ABOVE AND BELOW GROUND, AS REQUIRED FOR THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS. THIS SHALL INCLUDE CLEARING AND GRUBBING WHICH CONSISTS OF CLEARING THE GROUND SURFACE OF ALL TREES, STUMPS, BRUSH, UNDERGROWTH, HEDGES, HEAVY GROWTH OF GRASS OR WEEDS, FENCES, STRUCTURES, DEBRIS, RUBBISH, AND SUCH MATERIAL WHICH, IN THE OPINION OF THE ENGINEER, IS UNSUITABLE FOR THE FOUNDATION OF PAVEMENTS.
2.

THE CONTRACTOR SHALL MAINTAIN ALL EXISTING DRAINAGE FACILITIES WITHIN THE CONSTRUCTION AREA UNTIL THE DRAINAGE IMPROVEMENTS ARE IN PLACE AND FUNCTIONING.
3.

ALL CONTRACTORS WORKING WITHIN THE PROJECT BOUNDARIES ARE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE SAFETY LAWS OF ALL JURISDICTIONAL BODIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BARRICADES, SAFETY DEVICES AND CONTROL OF TRAFFIC WITHIN AND AROUND THE CONSTRUCTION AREA.
4.

EXISTING A. C. PAVEMENT SHALL BE CUT TO A NEAT STRAIGHT LINE PARALLEL OR PERPENDICULAR TO THE STREET CENTERLINE AND THE EXPOSED EDGE SHALL BE CUT TO A NEAT STRAIGHT LINE PARALLEL OR PERPENDICULAR TO THE STREET CENTERLINE AND THE EDGE COATED WITH TAR AS REQUIRED BY THE CITY STREETS DEPARTMENT.
5.

ALL MATERIALS FURNISHED ON OR FOR THE PROJECT MUST MEET THE MINIMUM REQUIREMENTS OF THE APPROVING AGENCIES OR AS SET FORTH HEREIN, WHICHEVER IS MORE RESTRICTIVE.
6.

CONTRACTORS MUST FURNISH PROOF THAT ALL MATERIALS INSTALLED ON THIS PROJECT MEET THE REQUIREMENTS OF ITEM #5 AT THE REQUEST OF THE AGENCY AND/OR THE ENGINEER.
7.

ALL COSTS OF RETESTING FOR PREVIOUSLY FAILED TESTS SHALL BE BACK CHARGED TO THE CONTRACTOR BY THE OWNER.
8.

ALL COSTS TO THE CONTRACTOR INCURRED IN CORRECTING DEFICIENT WORK SHALL BE TO THE CONTRACTORS ACCOUNT. FAILURE TO CORRECT SUCH WORK WILL BE CAUSE FOR A STOP WORK ORDER AND POSSIBLE TERMINATION.
9.

THE GENERAL CONTRACTOR IS PARTICULARLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF THE EXISTING UTILITIES SHOWN HEREON IS BASED ON UTILITY COMPANY RECORDS, AND WHERE POSSIBLE, FIELD MEASUREMENTS. THE CONTRACTOR SHALL NOT RELY UPON THIS INFORMATION AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION OF UTILITY LOCATIONS; IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO RELOCATE EXISTING UTILITIES CONFLICTING WITH IMPROVEMENTS SHOWN HEREON IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS GOVERNING SUCH PREPARATIONS
10.

ALL MATERIAL PLACED AS FILL OR BACKFILL SHALL BE PLACED AND COMPACTED IN ACCORDANCE PER THE STANDARD PROCTOER METHOD (ASTM D 698) - SEE GEOTECHNICAL REPORT
11.

IN THE CASE OF CONFLICT BETWEEN THIS DRAWING AND ANY OTHER DRAWING AND/OR THE SPECIFICATIONS, THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED FOR CLARIFICATION.
12.

ALL LOT DIMENSIONS, EASEMENTS AND CERTAIN OFF-SITE EASEMENTS ARE TO BE TAKEN FROM THE FINAL PLAT PREPARED BY THE SURVEYOR.
13.

OVER EXCAVATION AND ADDITIONAL GRANULAR BACKFILL MAY BE REQUIRED IN HIGH GROUNDWATER AREAS WHICH ARE TO BE DETERMINED BY THE FIELD INSPECTOR OR OWNER.

ISSUE FOR BID 06-10-22



PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
Rosemead, California
91770
Telephone: 626.799.9898
Facsimile: 626.372.8288

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

ISSUE DATE:

PERMIT / BID SET	03-03-22
CITY COMMENTS	04-29-22
ISSUE FOR BID	06-10-22

DRAWN BY: PTD

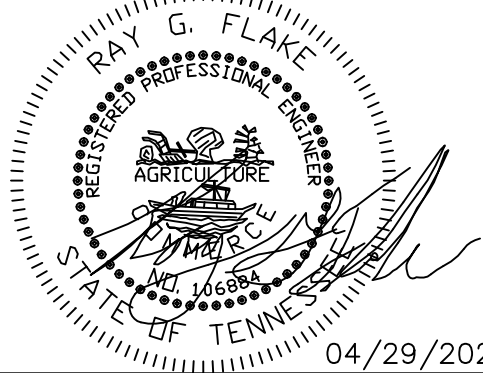
PANDA PROJECT #: S8-21-D8512
PANDA STORE #: D8512
ARCH PROJECT #: XXXX-XXX

Civil Engineering Services
Engineering, Land Planning

cEs

7705 Spicer Farm Lane
Fairview, Tennessee
37062
Phone: (615) 533-0401

e-mail: ray@civilengineering-services.net



PANDA EXPRESS

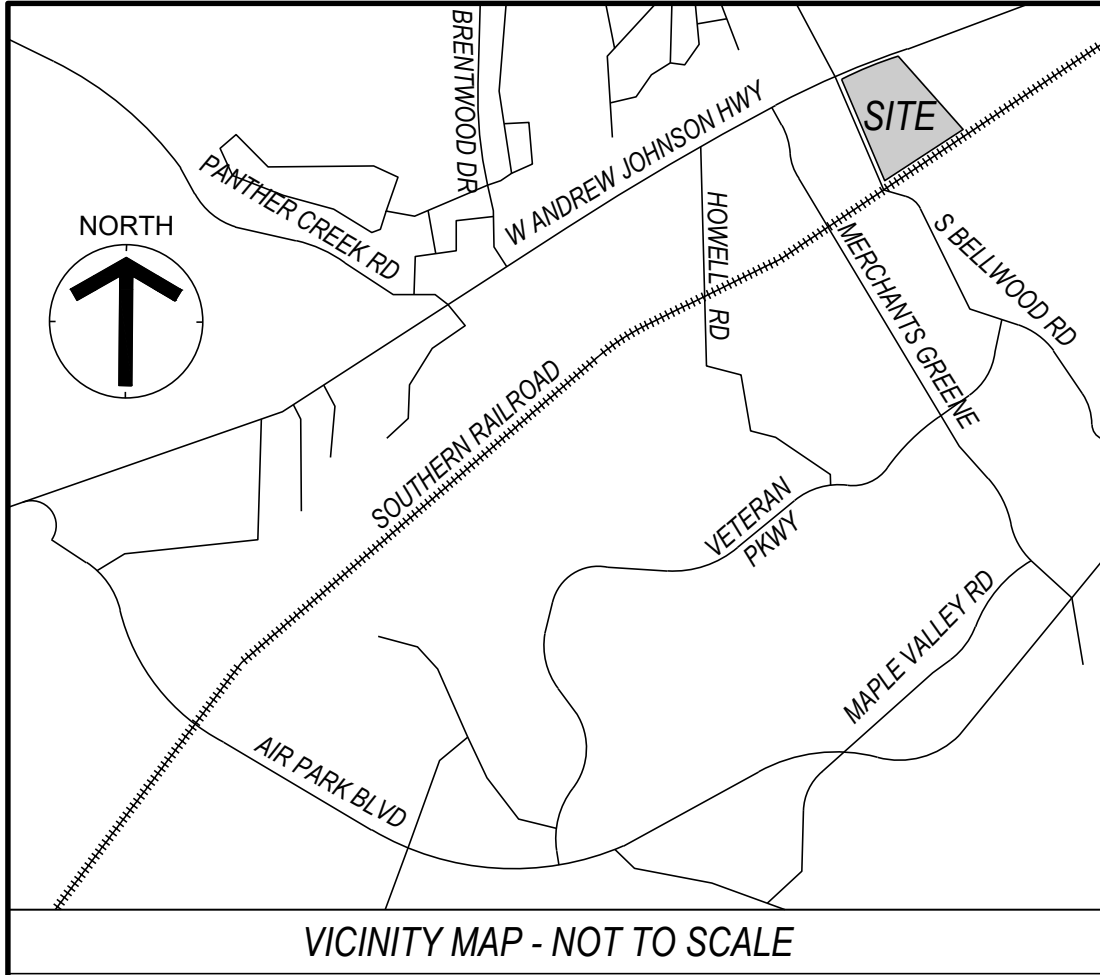
TRUE WARM & WELCOME
4158 ROBERTS LANE
MORRISTOWN, TN 37813

GENERAL NOTES

C01.1

TRUE WARM & WELCOME 2300 R3

ISSUE FOR BID 06-10-22



First American Title Insurance Company
Schedule B - Section II
Commitment No: NCS-1067023-NAS
Commitment Date: May 17, 2021 at 7:30 AM

1. (a) Taxes or assessments that are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; (b) proceedings by a public agency that may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.
- NOT WITHIN THE PURVIEW OF SURVEYOR**
2. Any facts, rights, interests or claims that are not shown by the Public Records but that could be ascertained by an inspection of the Land or that may be asserted by persons in possession of the Land.
- NOT WITHIN THE PURVIEW OF SURVEYOR**
3. Easements, liens or encumbrances or claims thereof, not shown by the Public Records.
- IF ANY, AS SHOWN AND NOTED ON SURVEY**
4. Any encroachment, encumbrances, violations, variations, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and not shown by the Public Records.
- IF ANY, AS SHOWN AND NOTED ON SURVEY**
5. Any claim to oil, gas, minerals, and all rights incident thereto, previously conveyed, transferred, leased or reserved.
- NOT WITHIN THE PURVIEW OF SURVEYOR**
6. Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part I-Requirements are met.
- NOT WITHIN THE PURVIEW OF SURVEYOR**
7. Any lien or right to a lien for services, labor, material or equipment, unless such lien is shown by the Public Records at Date of Policy and not otherwise excepted from coverage herein.
- NOT WITHIN THE PURVIEW OF SURVEYOR**
8. No insurance is afforded as to the acreage or square footage contained in the Land.
- ACREAGE IS SHOWN AS MORE OR LESS ON SURVEY**
9. Taxes and assessments for the year 2021 and subsequent years, not yet due and payable.
- Tax Identification No. 040-041.00: 2020 Hamilton County Taxes are paid in the amount of \$1,688.00. Tax Identification No. 040-041.00: 2020 Morristown City Taxes are paid in the amount of \$1,338.57. Tax Identification No. 040-041.01: 2020 Hamilton County Taxes are Paid in the amount of \$162.00. Tax Identification No. 040-041.01: 2020 Morristown City Taxes are Paid in the amount of \$128.76.
- NOT WITHIN THE PURVIEW OF SURVEYOR**
10. Terms and provisions of Easement(s), by and between Sallie W. Roberts and husband, W.O. Roberts and Tennessee Electric Power Company, a corporation, its successors and assigns, of record in Book W46, Page 146, in the Register's Office of Hamilton County, Tennessee.
- EASEMENT DOCUMENT IS BLANKET AND NOT PLOTTABLE. ALL VISIBLE ELECTRICAL LINES ASSOCIATED WITH THE SUBJECT PROPERTY HAVE BEEN LOCATED AND SHOWN ON SURVEY. NO EASEMENT WIDTH SPECIFIED.**
11. Terms and provisions of Right of Way Deed, by and between Everett Roberts and Oliver Roberts and State of Tennessee for the use and benefit of the Department of Highway and Public Works, of record in Book W113, Page 156, in the Register's Office of Hamilton County, Tennessee.
- RIGHT OF WAY LINE OF U.S. HWY 11-E AS SHOWN ON SURVEY**
12. Terms and provisions of Right of Way Deed, by and between Oliver Roberts and wife, Verdie Roberts and State of Tennessee for the use and benefit of the Department of Highway and Public Works, of record in Book W114, Page 244, in the Register's Office of Hamilton County, Tennessee.
- RIGHT OF WAY LINE OF U.S. HWY 11-E AS SHOWN ON SURVEY**
13. Application for Approval of Land as Agricultural Land of record in Misc. Book 2, Page 334, in the Register's Office of Hamilton County, Tennessee.
- NOT WITHIN THE PURVIEW OF SURVEYOR**
14. Terms and provisions of Deed Conveying Utility Easement, by and between Kitty Coffey and Betty Miller and The City of Morristown, of record in Book 1557, Page 647, in the Register's Office of Hamilton County, Tennessee.
- AS SHOWN AND NOTED ON SURVEY**
15. Liability as to taxes resulting from rollback and/or greenbelt taxes pursuant to the provisions of T.C.A. Sections 67-5-1001 et seq.
- NOT WITHIN THE PURVIEW OF SURVEYOR**
16. Lack of direct access to a controlled access highway, US Highway 11-E.
- EXISTING DRIVEWAY HAS DIRECT ACCESS TO U.S. HWY 11-E AS SHOWN ON SURVEY. NEW DRIVES MAY REQUIRE STATE AND/OR LOCAL JURISDICTIONAL APPROVAL.**
17. Any claim that the Title is subject to a trust or lien created under The Perishable Agricultural Commodities Act, 1930 (7 U.S.C. §4699a, et seq.) or the Packers and Stockyards Act (7 U.S.C. §181 et seq.) or under similar state laws.
- Consideration for the deletion of this exception is highly fact intensive. Please contact the underwriter assigned to your file as soon as possible to discuss.
- NOT WITHIN THE PURVIEW OF SURVEYOR**
18. Rights of the Railroad Company to expand its right of way to its full charter width.
- EXTENTS OF CHARTER WIDTH AS SHOWN ON SURVEY**
19. That portion of the land embraced within the bounds of any public road or thoroughfare.
- NONE SHOWN OR NOTED ON SURVEY**
20. Rights of parties in possession not shown by the Public Records.
- NOT WITHIN THE PURVIEW OF SURVEYOR**

First American Title Insurance Company
Schedule B - Section II
Commitment No: NCS-1067023-NAS
Commitment Date: May 17, 2021 at 7:30 AM

The land referred to herein below is situated in the County of Hamilton, State of Tennessee, and described as follows: SITUATE IN THE FIFTH CIVIL DISTRICT OF HAMILTON COUNTY, TENNESSEE, TO-WIT: LYING BETWEEN US HIGHWAY 11-E AND THE MAIN LINE OF THE SOUTHERN RAILWAY, AND DESCRIBED AS FOLLOWS: BEGINNING ON A ROCK, J. H. BELL'S CORNER (NOW HATFIELD) ON THE SOUTH SIDE OF THE KNOXVILLE ROAD IN THE MARGIN OF SAID ROAD WHERE THE SETTLEMENT ROAD (NOW KNOWN AS BELL ROAD) INTERSECTS SAME; THENCE NORTH WITH SAID ROAD 61 DEGS. EAST 49% POLES TO A STAKE IN THE D. W. C. SENTER'S LINE; THENCE WITH SAID LINE SOUTH 45 DEGS. EAST 87 POLES TO A ROCK, SENTER'S CORNER; THENCE WITH SAID SENTER LINE SOUTH 22 DEGS. EAST 2 POLES TO THE RAILROAD; THENCE WESTWARD WITH SAID RAILROAD 79 POLES TO J. H. BELL'S LINE; THENCE WITH THE LANE NORTH 27 DEGS. WEST 98% POLES TO THE BEGINNING.

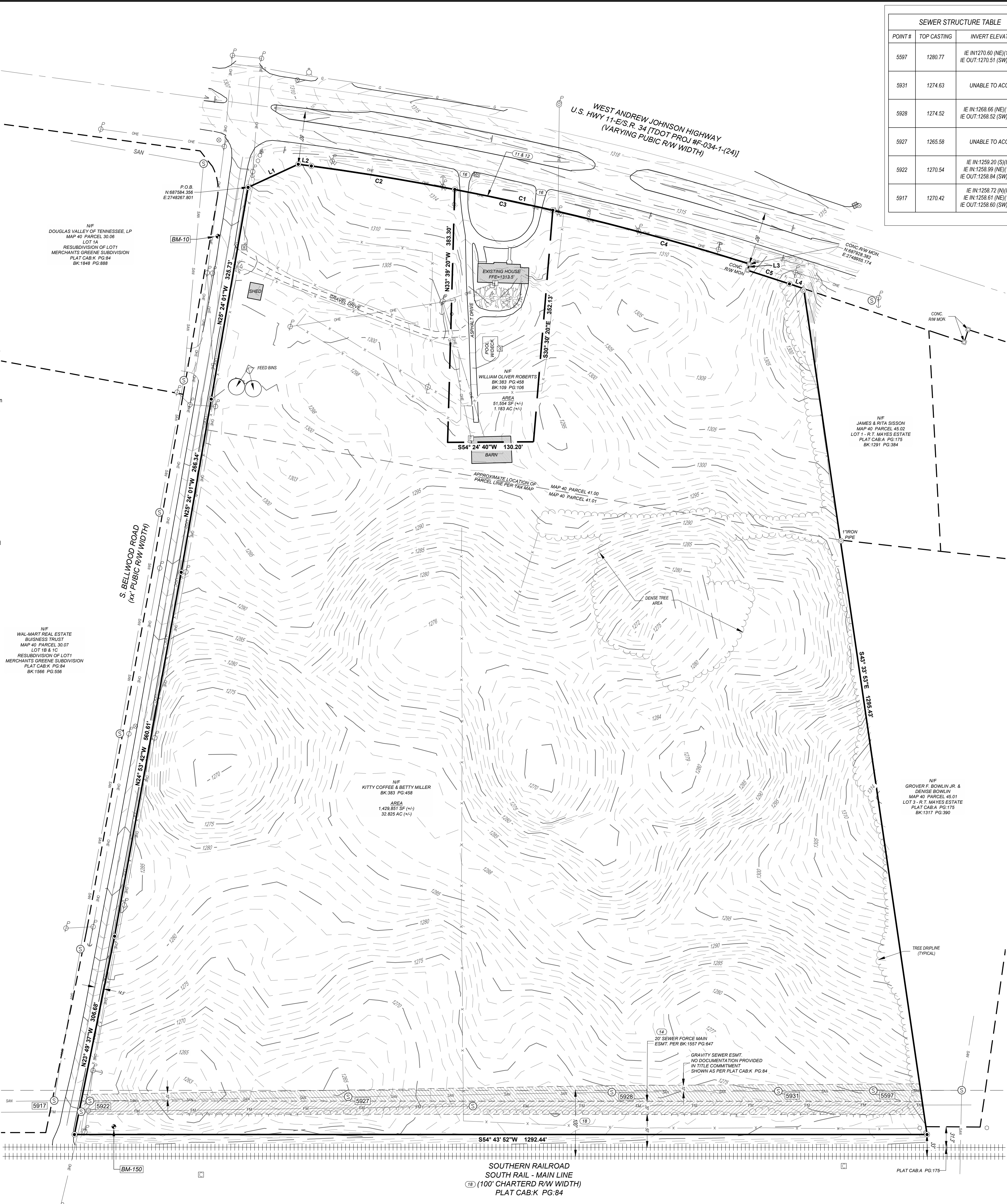
INCLUDED IN THE FOREGOING DESCRIPTION IS PROPERTY CONVEYED TO WILLIAM OLIVER ROBERTS ET UX, BY DEED OF EVERETTE ROBERTS, DATED APRIL 26, 1966, RECORDED IN DEED BOOK 109, PAGE 106 IN THE REGISTER'S OFFICE OF HAMILTON COUNTY, TENNESSEE, AND THERE IS EXCEPTED THAT PORTION TAKEN FOR THE WIDENING OF US HIGHWAY 11-E BEING THE SAME PROPERTY CONVEYED TO KITTY LEE ROBERTS COFFEY AND BETTY LYNN ROBERTS MILLER, AS EQUAL TENANTS IN COMMON, BY EXECUTORS' AND TRUSTEES DEED FROM KITTY LEE ROBERTS COFFEY AND BETTY LYNN ROBERTS MILLER, AS EXECUTORS AND TRUSTEES UNDER THE WILL OF WILLIAM OLIVER ROBERTS, WHICH WILL APPEARS OF RECORD IN THE COUNTY COURT CLERK'S OFFICE OF HAMILTON COUNTY, TENNESSEE IN WILL BOOK 14, PAGE 119, AND AS EXECUTORS UNDER THE WILL OF VERDIE CLUCK ROBERTS WHICH APPEARS OF RECORD IN SAID OFFICE IN WILL BOOK 14, PAGE 305, OF RECORD IN BOOK W383, PAGE 458, IN THE REGISTER'S OFFICE OF HAMILTON COUNTY, TENNESSEE.

UTILITY DISCLAIMER

The utilities shown hereon have been located from field survey information and/or existing drawings. The surveyor makes no guarantee that the utilities located hereon comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the utilities located are in the exact location indicated although he does certify that they are located as accurately as possible from information available.



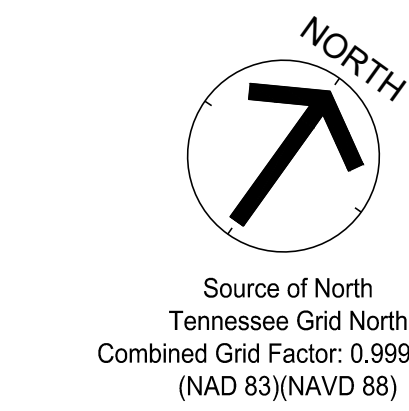
In Tennessee, it is a requirement, per "The Underground Utility Damage Prevention Act", that anyone who engages in excavation must notify all known underground utility owners, no less than three (3) or more than (10) working days prior to the date of their intent to excavate and also to avoid any possible hazard or conflict. Tennessee One Call 811.



SEWER STRUCTURE TABLE		
POINT #	TOP CASTING	INVERT ELEVATION
5597	1280.77	IE IN:1270.60 (NE)(12"PV) IE OUT:1270.51 (SW)(12"PV)
5931	1274.63	UNABLE TO ACCESS
5928	1274.52	IE IN:1268.66 (NE)(12"PV) IE OUT:1268.52 (SW)(12"PV)
5927	1265.58	UNABLE TO ACCESS
5922	1270.54	IE IN:1259.20 (S)(8"PV) IE IN:1258.99 (NE)(12"PV) IE OUT:1258.84 (SW)(12"PV)
5917	1270.42	IE IN:1258.72 (N)(8"PV) IE IN:1258.61 (NE)(12"PV) IE OUT:1258.60 (SW)(12"PV)

LINE TABLE		
LINE #	BEARING	LENGTH
L1	N29°56'46"E	83.74'
L2	N62°27'02"E	20.00'
L3	S17°47'09"E	10.00'
L4	N73°13'02"E	22.77'

CURVE TABLE				
CURVE #	RADIUS	CHORD BEARING	CHORD LENGTH	ARC LENGTH
C1	3997.66'	N67°19'55"E	680.40'	681.22'
C2	3997.66'	N64°01'46"E	220.30'	220.33'
C3	3997.66'	N66°41'51"E	151.95'	151.96'
C4	3997.66'	S70°00'01"W	308.86'	308.93'
C5	3997.66'	N72°41'46"E	67.09'	67.09'



Source of North
Tennessee Grid North
Combined Grid Factor: 0.99991170
(NAD 83)(NAVD 88)

BENCHMARKS

BM-10: IRON ROD WITH CAP
N: 687497.309' E: 2748273.040' EL: 1299.14
GND. (NAD 83) TN GRID NORTH, ELEV.(NAVD 88)

BM-150: NGS - F129
N: 686304.831' E: 2748923.413' EL: 1270.72
GND. (NAD 83) TN GRID NORTH, ELEV.(NAVD 88)

LEGEND			
BENCHMARK	COMM. LINE MARKER	P.U.D.E.	PUBLIC UTILITY & DRAINAGE ESMT.
IRON PIN (FOUND)	TELEPHONE BOX	M.B.S.L.	MINIMUM BUILDING SETBACK LINE
IRON PIN (SET)	COMMUNICATION BOX		PROPERTY LINE
MONUMENT (FOUND)	ELECTRIC BOX		ADJACENT PROPERTY LINE
SIGN	SEWER MANHOLE		EASEMENT LINE
MAILBOX	CLEANOUT	X	FENCE LINE
CATCH BASIN	WATER METER	W	WATER LINE
GAS METER	WATER VALVE	STM	STORM LINE
GAS VALVE	FIRE HYDRANT	SAV	SEWER LINE
		OHE	OVERHEAD ELECTRIC LINE
		UGC	UNDERGROUND COMMUNICATION LINE
			TREE LINE

TABLE A - INFORMATION

Item 3: FEMA Map No: 47063C0130E Dated: July 3, 2006 Zone "X"

Item 4: Coffee & Miller Property: 1,429,851 SF (+/-) 32.825 AC (+/-)

Roberts Property: 51,554 SF (+/-) 1.183 AC (+/-)

Total Area: 1,481,405 SF(+/-) 34.008 AC (+/-)

Item 6: (a) No Zoning Letter provided to Surveyor

Item 7: Shown on survey

Item 8: Shown on Survey

Item 9: No designated parking on-site

Item 11: Shown on Survey

Item 13: Shown on Survey

Item 14: Property is located at the intersection of West Andrew Johnson Highway (Hwy 11-E) and South Bellwood Road.

Item 16: No evidence of current earth moving work, building construction, or building additions.

Item 17: No evidence of recent street or sidewalk construction or repairs observed.

SURVEYOR NOTES

- The location of the property boundaries depicted hereon, based on the appropriate boundary law principles governed by the facts and evidence gathered during the course of this survey. Per accuracy and precision required by the State of Tennessee, in the opinion of this surveyor the monuments shown represents corners of the property. Corners have been found or set as indicated hereon. This survey represents a professional opinion, and carries no guarantees or warranties, expressed or implied.
- Any improvements depicted may be demolished. The depiction of any improvements on this plat does not create any easement, setback, building pad, or other matter and is for informational purposes only as of the date and time of the recording of this plat.
- Survey not final without Seal and Signature of Surveyor.
- All set property corners are marked with 5/8" diameter rebar with a CESO cap unless otherwise noted.
- This survey may not be reproduced, altered, or copied without written permission of CESO, Inc.
- Subject property has direct access to South Bellwood Road and West Andrew Johnson Hwy (US Hwy 11-E), each dedicated public right-of-ways.
- As shown on survey, there are no gaps or gaps between tracts.

SURVEYOR'S GPS CERTIFICATION NOTE

I hereby state that to the best of my knowledge, information, and belief, the survey shown hereon was made in accordance with the requirements of the Minimum Standards Manual for the Practice of Land Surveying in Tennessee, and meets or exceeds the requirements for a Class "A" survey as specified hereon.

For boundary and topographic aspects of this survey, RTK GPS positional data was observed on/between the dates of June 3, 2021 and June 30, 2021 utilizing a Trimble R8s dual frequency receiver. The grid coordinates of the Fixed Station(s) shown were derived using a VRS network of CORS stations referenced to NAD 83 (2011) (Epoch 2010), Geoid 128.

Positional accuracy of the GPS vectors does not exceed: H 0.05'; V 0.05'

Combined Grid Factor: 0.99991170 centered on Fixed Station BM-150 as shown hereon.

To: Kitty Lee Roberts Coffey and Betty Lynn Roberts Miller, as equal tenants in common; First American Title Insurance Company; and their successors and/or assigns as their respective interest may appear:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS and includes Items 1, 2, 3, 4, 5, 6(a), 7(a)(b)(1)(c), 8, 9, 11, 13, 14, 15, and 17 of Table A thereof. The ratio of precision for this unadjusted survey is 1:10,000 as shown hereon.

The field work was completed in June, 2021

Date of Plat or Map: July 8, 2021

**PRELIMINARY
FOR REVIEW ONLY**



REVISIONS	
NO.	DESCRIPTION

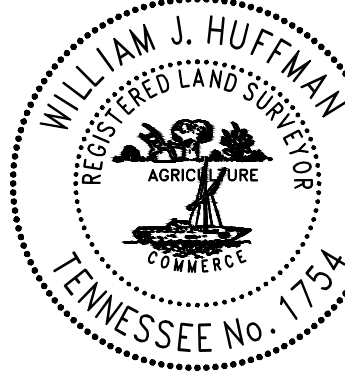
ALTA/NSPS LAND TITLE SURVEY

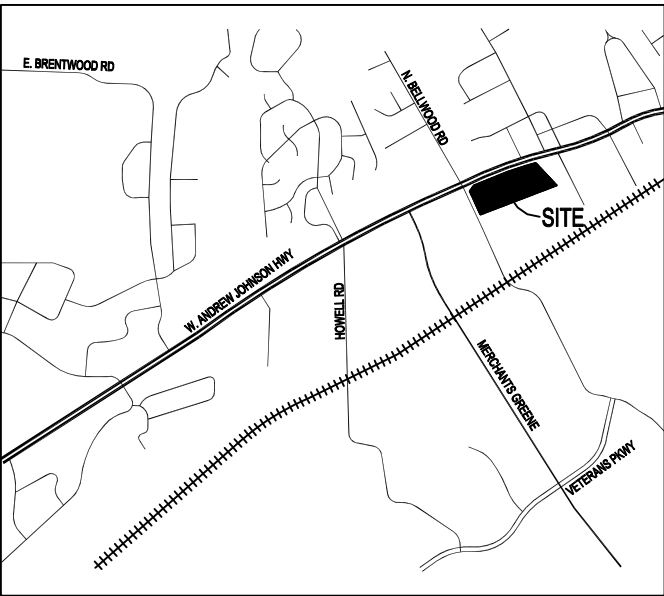
KITTY COFFEY & BETTY MILLER PROPERTY

4185 W. ANDREW JOHNSON HWY MORRISTOWN, HAMLTON COUNTY, TENNESSEE TAX MAP 40 PARCEL(S) 41.00 & 41.01 COUNCIL/CIVIL DISTRICT

SCALE: 1" = 80' DATE: JULY 8, 2021

DESIGN: N/A	JOB NO.: 759187-01
DRAWN: PMK	SHEET NO.:
CHECKED: WJH	1 OF 1





LOCATION MAP
NOT TO SCALE

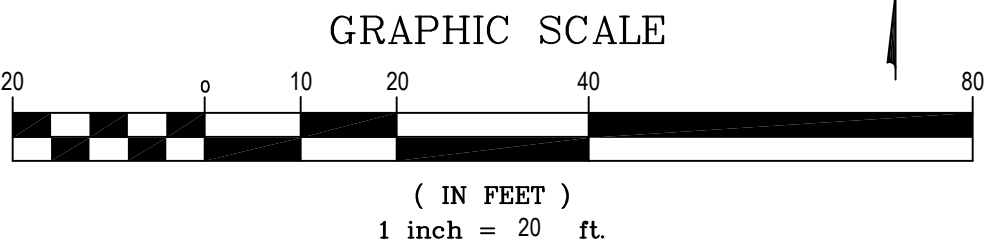
DEMO NOTES

SEE DEMOLITION NOTE ON SHEET C01.1

DEMOLITION KEYNOTES

- 1 PROTECT EXISTING STRUCTURE

CONSTRUCTION NOTE:
DESIGN OF THE PANDA EXPRESS SITE, AS SHOWN IN THESE PLANS, ARE BASED UPON THE PROPOSED CONSTRUCTION PLANS FOR THE SUBJECT PROPERTY AND SURROUNDING SITE WORK. CONTRACTOR SHALL FIELD VERIFY ELEVATIONS, UTILITIES, AND SITE FEATURES PRIOR TO ANY WORK DONE. NOTIFY OWNER/ENGINEER OF ANY CONFLICTS WITH DESIGN PRIOR TO ANY WORK DONE.



BM-10 IRON ROD WITH CAP NORTHING: 687497.397 EASTING: 2748273.040 ELEVATION: 1299.14'	BM-150 NGS - F129 NORTHING: 686304.831 EASTING: 2748923.413 ELEVATION: 1270.72'
---	---

FLOOD ZONE
THE SUBJECT PROPERTY IS LOCATED IN SPECIAL FLOOD HAZARD AREA ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2 % ANNUAL CHANCE FLOODPLAIN) AS PER FLOOD LINES ESTABLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY AS SHOWN ON FLOOD INSURANCE RATE MAP NUMBER 47063C0130E, DATED: JULY 03, 20160



PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
Rosemead, California
91770
Telephone: 626.799.9898
Facsimile: 626.372.8268

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

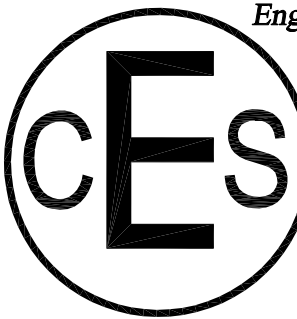
ISSUE DATE:

PERMIT / BID SET	03-03-22
CITY COMMENTS	04-29-22
ISSUE FOR BID	06-10-22

DRAWN BY: PTD

PANDA PROJECT #: S8-21-D8512
PANDA STORE #: D8512
ARCH PROJECT #: XXXXX-XXX

Civil Engineering Services
Engineering, Land Planning



7705 Spicer Farm Lane
Fairview, Tennessee
37062
Phone: (615) 533-0401

e-mail: ray@civilengineeringservices.net



PANDA EXPRESS

TRUE WARM & WELCOME
4158 ROBERTS LANE
MORRISTOWN, TN 37813

DEMOLITION PLAN

C02.1

TRUE WARM & WELCOME 2300 R3

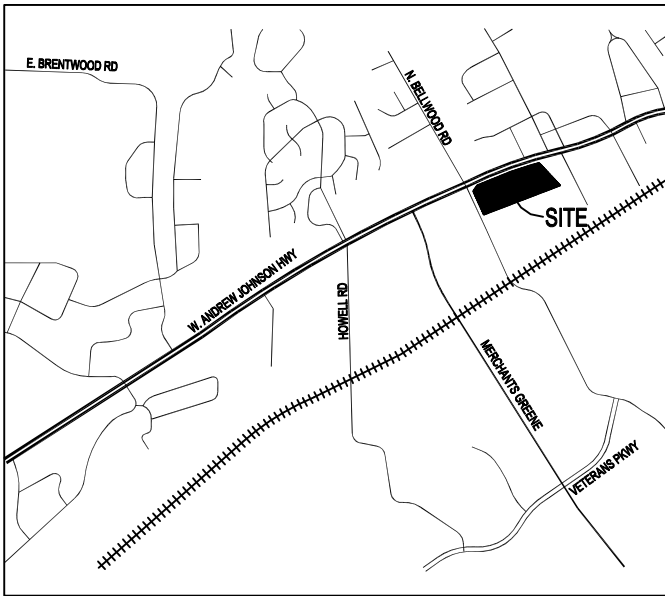
SITE DATA TABLE

- **ZONING:**
IB - INTERMEDIATE BUSINESS
- **REQUIRED BUILDING SETBACKS:**
FRONT (N) = 35'
REAR (S) = 10'
SIDE (E) = 15'
SIDE (W) = 15'
- **SITE ACREAGE:**
PANDA EXPRESS = 47,916 SF / 1.10 ACRES
- **FLOOR AREA RATIO:**
PANDA EXPRESS = 2,661 SF BLDG / SITE AREA 47,916 = 5.55%
- **PROPOSED SITE IMPERVIOUS SURFACE RATIO**
TOTAL SITE = 47,916 SF
PAVEMENT/SIDEWALKS = 28,449 SF
BUILDING = 2,661 SF
TOTAL IMPERVIOUS = 31,110 SF
TOTAL PERVIOUS = 16,806 SF
PERCENT IMPERVIOUS = 64.93%
- **PARKING**
RESTAURANT: 1/100 SF
PANDA EXPRESS - 2,661 SF = 27 SPACES
TOTAL REQUIRED NON-ADA PARKING: 25
TOTAL ADA PARKING: 2
TOTAL PARKING PROVIDED: 42
- **REQUIRED PARKING SETBACKS:**
FRONT (W) = 10'
REAR (E) = NA
SIDE (N) = NA
SIDE (S) = NA
- **FLOOD HAZARD:**
F.I.R.M. MAP NO. 47063C0130E

PANDA EXPRESS STANDARD NOTES

1. THE GEOTECHNICAL INVESTIGATION PREPARED BY XXXXXX, DATED XXXXXX AND ANY SUBSEQUENT ADDENDUMS IS CONSIDERED PART OF THE CONTRACT DOCUMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE REPORT'S RECOMMENDATIONS AND FINDINGS WITH THE OWNER, ENGINEER AND ARCHITECT PRIOR TO CONSTRUCTION. IMPLEMENTATION OF THE REPORT'S RECOMMENDATIONS MAY REQUIRE THE CONTRACTOR TO PERFORM ADDITIONAL WORK NOT SHOWN ON THE CIVIL PLANS INCLUDING BUT NOT LIMITED TO EXCAVATION, REMEDIATION, DEWATERING, COMPACTION ETC.
2. CONTRACTOR SHALL COORDINATE AND VERIFY LOCATION OF ALL SIGNAGE WITH OWNER PRIOR TO CONSTRUCTION.
3. CONTRACTOR SHALL COORDINATE AND ADJUST LOCATION OF LOOP DETECTORS TO AVOID UTILITY CONFLICTS PRIOR TO CONSTRUCTION.
4. CONTRACTOR SHALL ENSURE 100% COVERAGE OF ALL LANDSCAPED AREAS WITHIN LIMITS OF WORK, INCLUDING POTENTIAL OFFSITE AREAS. COVERAGE SHALL INCLUDE BOTH LANDSCAPING AND IRRIGATION.

CONSTRUCTION NOTE:
DESIGN OF THE PANDA EXPRESS SITE, AS SHOWN IN THESE PLANS, ARE BASED UPON THE PROPOSED CONSTRUCTION PLANS FOR THE SUBJECT PROPERTY AND SURROUNDING SITE WORK. CONTRACTOR SHALL FIELD VERIFY ELEVATIONS, UTILITIES, AND SITE FEATURES PRIOR TO ANY WORK DONE. NOTIFY OWNER/ENGINEER OF ANY CONFLICTS WITH DESIGN PRIOR TO ANY WORK DONE



LOCATION MAP
NOT TO SCALE

PROPOSED SITE LEGEND

- ⑧ PARKING STALL COUNT - SEE PLANS
- ⑧ LIGHT DUTY ASPHALT PAVING - SEE DETAIL SHEET SECTION (C03.1)
- ⑧ HEAVY DUTY ASPHALT PAVING - SEE DETAIL SHEET SECTION (C03.1)
- ⑧ CONCRETE SIDEWALK - SEE DETAIL SHEET (C03.1)
- ⑧ CONCRETE PAVING AT DUMPSTER ENCLOSURE, DRIVE THRU, AND PARKING ALONG BUILDING PER GEOTECHNICAL REPORT
- ⑧ HANDICAP PARKING
- ⑧ DIRECTIONAL ARROWS
- ⑧ PROPOSED CURB AND GUTTER AT CONCRETE - MONOLITHIC AT CONCRETE PAVEMENT - SEE DETAIL SHEET (C03.1)
- ⑧ LIGHT POLE - SEE PHOTO METRIC PLAN - SEE LIGHT POLE BASE ON DETAIL SHEET (C03.1)

GENERAL NOTES

SEE NOTES ON SHEET C01.1

SITE KEY NOTES:

PAVEMENT AND CURBING

- ① PROVIDE CURB AND GUTTER AT ASPHALT - MONOLITHIC CURB AT CONCRETE PAVEMENT - SEE DETAIL SHEET (C03.1)
- ② PROVIDE CONCRETE SIDEWALKS PER DETAIL SHEET (C03.2) - PROVIDE CONCRETE SIDEWALK WITH INTEGRAL CURB AT BUILDING AND PARKING PER DETAIL SHEET (C03.2)
- ③ HEAVY DUTY CONCRETE PAVING AT DRIVE THRU ISLE - SEE DETAIL SHEET (C03.1) & GEO-TECH REPORT (GRAY COLOR, LIGHT BROOM FINISH)
- ④ NEW HEAVY DUTY CONCRETE APRON AT DUMPSTER ENCLOSURE - SEE ARCHITECTURAL DETAIL SHEET - SEE DETAIL SHEET (C03.1)
- ⑤ LIGHT DUTY ASPHALT PAVING - SEE DETAIL SHEET (C03.2) & GEO-TECH REPORT
- ⑥ HEAVY DUTY ASPHALT PAVING - SEE DETAIL SHEET (C03.2) & GEO-TECH REPORT
- ⑦ BOLLARD PLAN - SEE DETAIL (C03.2)
- ⑧ SEALED CONC. SIDEWALK (AQUA MIX SEALER'S CHOICE GOLD), CONCRETE TO BE LIGHT BROOM TEXTURE FINISH. PROVIDE UNDER SLAB TREATMENT PER SOIL REPORT. PROVIDE POSITIVE DRAINAGE AWAY FROM BLDGS. AND ALL SIDE WALKS.
- ⑨ EXPANSION JOINT - SEE SOILS REPORT FOR SPACING - SEE DETAIL SHEET (C03.1)
- ⑩ CONTROL JOINTS - SEE SOILS REPORT FOR SPACING - SEE DETAIL SHEET (C03.1)
- ⑪ LIGHT DUTY CONCRETE PAVING - SEE DETAIL SHEET (C03.1) AND GEOTECHNICAL REPORT

PAVEMENT STRIPING / ADA FEATURES / TRAFFIC SIGNAGE

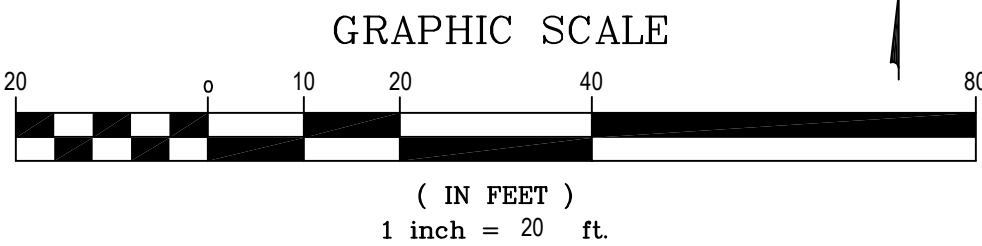
- ⑮ ADA ACCESSIBLE RAMP AT HANDICAP PARKING STALLS - SEE GRADING PLAN FOR ELEVATIONS - SEE HANDICAP PARKING ON DETAIL SHEET (C03.1)
- ⑯ ADA DETECTABLE WARNING AT EDGE OF PAVEMENT - SEE HANDICAP PARKING DETAIL ON DETAIL SHEET (C03.1)
- ⑰ HANDICAP AND VAN ACCESSIBLE PARKING LAYOUT, SIGNAGE, AND STRIPING - SEE DETAIL SHEET (C03.1)
- ⑱ ALL SITE DIRECTIONAL SIGNAGE, PAVEMENT STRIPING AND MARKINGS SHALL BE COORDINATED WITH PRG'S PROJECT MANAGER.
- ⑲ 4" WIDE DIAGONAL STRIPES PAINTED WHITE AT 2 FT. O.C. PER MUTCD SPECS
- ⑳ 4" WIDE PARKING STRIPE PAINTED WHITE PER CITY SPECS.
- ㉑ TRAFFIC ARROW PAINTED WHITE - SEE DETAIL SHEET (C03.1)
- ㉒ STOP BAR PAINTED WHITE PER MUTCD SPECS.
- ㉓ "STOP" SIGN PER MUTCD/LOCAL MUNICIPALITY SPECIFICATIONS
- ㉔ DO NOT ENTER SIGN PER MUTCD / LOCAL SPECS.

PANDA EXPRESS SITE FEATURES

- ③① DRIVE THRU LANE SENSOR LOOP SEE DETAIL - SEE ARCH DETAIL SHEET
- ③② NEW PAINTED SWITCHGEAR LOCATION - SEE ELECTRICAL PLANS
- ③③ ORDER CONFIRMATION BOARD - SEE ARCH DETAIL SHEET
- ③④ DRIVE THROUGH MENU BOARD-INSTALLED BY GC. VERIFY WITH PANDA P.M. - SEE ARCH DETAIL SHEET
- ③⑤ CLEARANCE BAR INSTALLED BY SIGN VENDOR - RE. ELECTRICAL DRAWING FOR REQUIREMENTS, G.C. TO COORDINATE LOCATION WITH PRG P.M.
- ③⑥ WHEEL STOP - GNR TECHNOLOGIES, "PARK-IT" 6" PARKING CURB #16201R (BLACK AND YELLOW) OR OWNER APPROVED EQUAL
- ③⑦ TRASH ENCLOSURE, CONFIRM BIN SIZE WITH LOCAL WASTE MANAGEMENT COMPANY. (TYP. 6 YARD BIN) - SEE ARCH DETAIL SHEET
- ③⑧ 4'-6" WIDE BY 6'-4" HIGH MONUMENT SIGN
- ③⑨ LIGHT POLE - SEE PHOTO METRIC PLAN - SEE LIGHT POLE BASE ON DETAIL SHEET (C03.1)
- ③⑩ TIE TO ROOF DRAIN COLLECTOR FROM BUILDING - SEE PLUMBING PLANS FOR UNDERGROUND CONNECTION AT BUILDING - SEE ELEVATION THIS SHEET - OVERFLOW PIPE FROM ROOF DRAIN TO DAYLIGHT UNDER CONCRETE FLATWORK AT FACE OF CURB - SEE PLUMBING PLANS FOR LOCATION
- ④① APPROXIMATE LOCATION OF PAD MOUNTED TRANSFORMER PAD PER SERVICE PROVIDER SPECS. - COORDINATE WITH SERVICE PROVIDER PRIOR TO CONSTRUCTION
- ④② EDGE OF CONCRETE SIDEWALK AT PLANTER BED - SEE LANDSCAPE PLAN (L01.0)

ADDITIONAL SITE FEATURES

- ⑤① MATCH EXISTING GRADE
- ⑤② EXISTING FIRE HYDRANT
- ⑤③ ADA ACCESSIBLE RAMP - SEE GRADING PLAN FOR ELEVATIONS - SEE DETAIL SHEET (C03.2)



FLOOD ZONE
THE SUBJECT PROPERTY IS LOCATED IN SPECIAL FLOOD HAZARD AREA ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2 % ANNUAL CHANCE FLOODPLAIN) AS PER FLOOD LINES ESTABLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY AS SHOWN ON FLOOD INSURANCE RATE MAP NUMBER 47063C0130E, DATED: JULY 03, 20160

BM-10
IRON ROD WITH CAP
NORTHING: 687497.397
EASTING: 2748273.040
ELEVATION: 1299.14'

BM-150
NGS - F129
NORTHING: 686304.831
EASTING: 2748923.413
ELEVATION: 1270.72'



PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
Rosemead, California
91770
Telephone: 626.799.9898
Facsimile: 626.372.6288

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

ISSUE DATE:

PERMIT / BID SET	03-03-22
CITY COMMENTS	04-29-22
ISSUE FOR BID	06-10-22

DRAWN BY: PTD

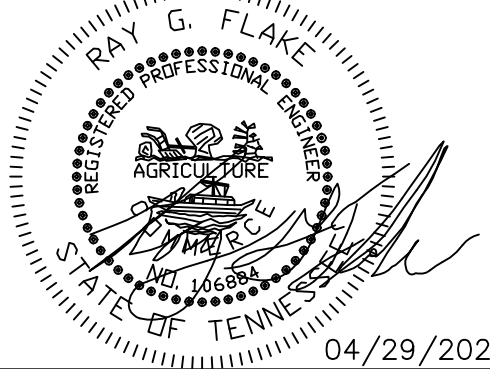
PANDA PROJECT #: S8-21-D8512
PANDA STORE #: D8512
ARCH PROJECT #: XXXXX-XXX

Civil Engineering Services
Engineering, Land Planning

cEs

7705 Spicer Farm Lane
Fairview, Tennessee
37062
Phone: (615) 533-0401

e-mail: ray@civilengineeringservices.net



PANDA EXPRESS

TRUE WARM & WELCOME
4158 ROBERTS LANE
MORRISTOWN, TN 37813

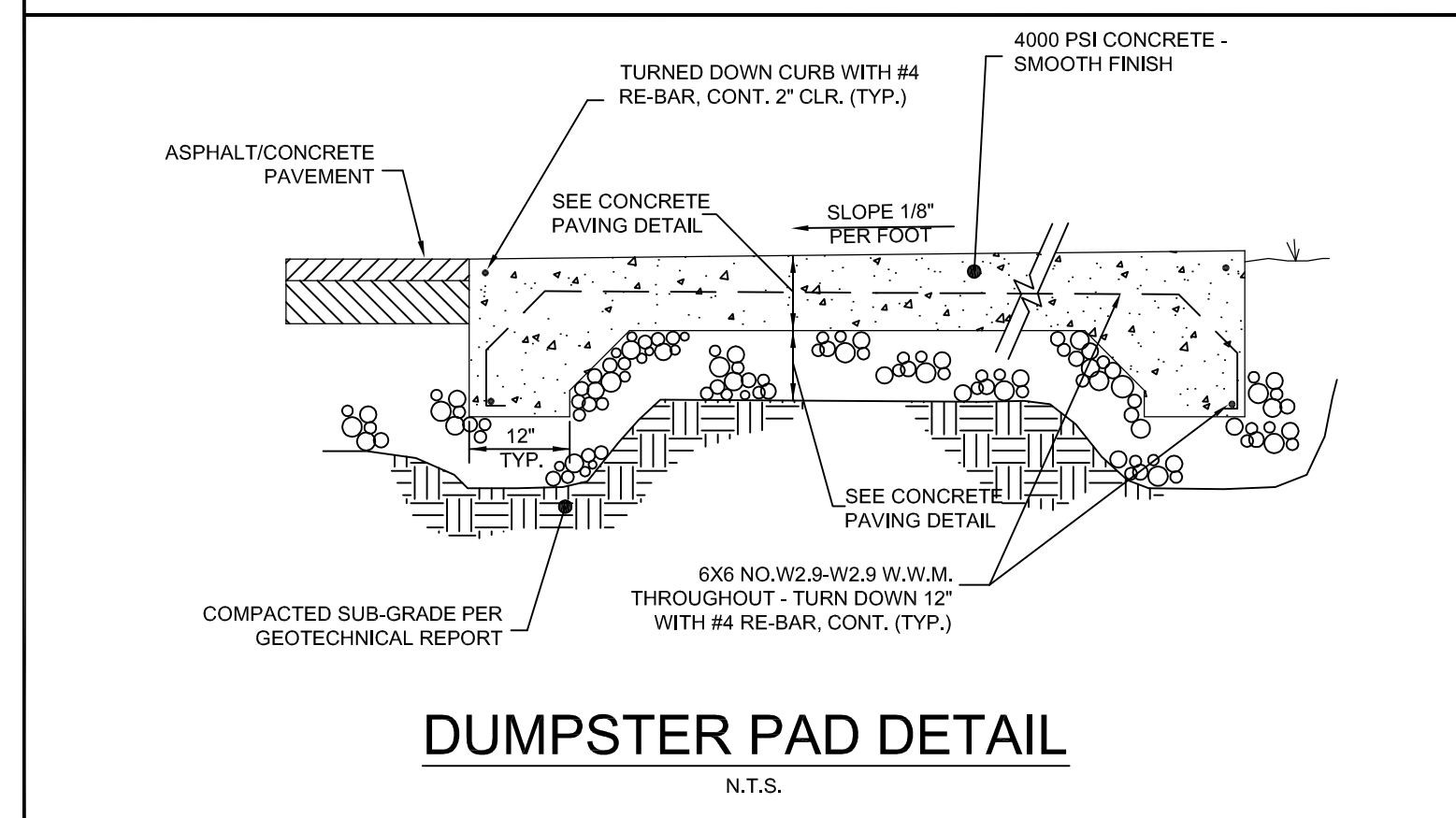
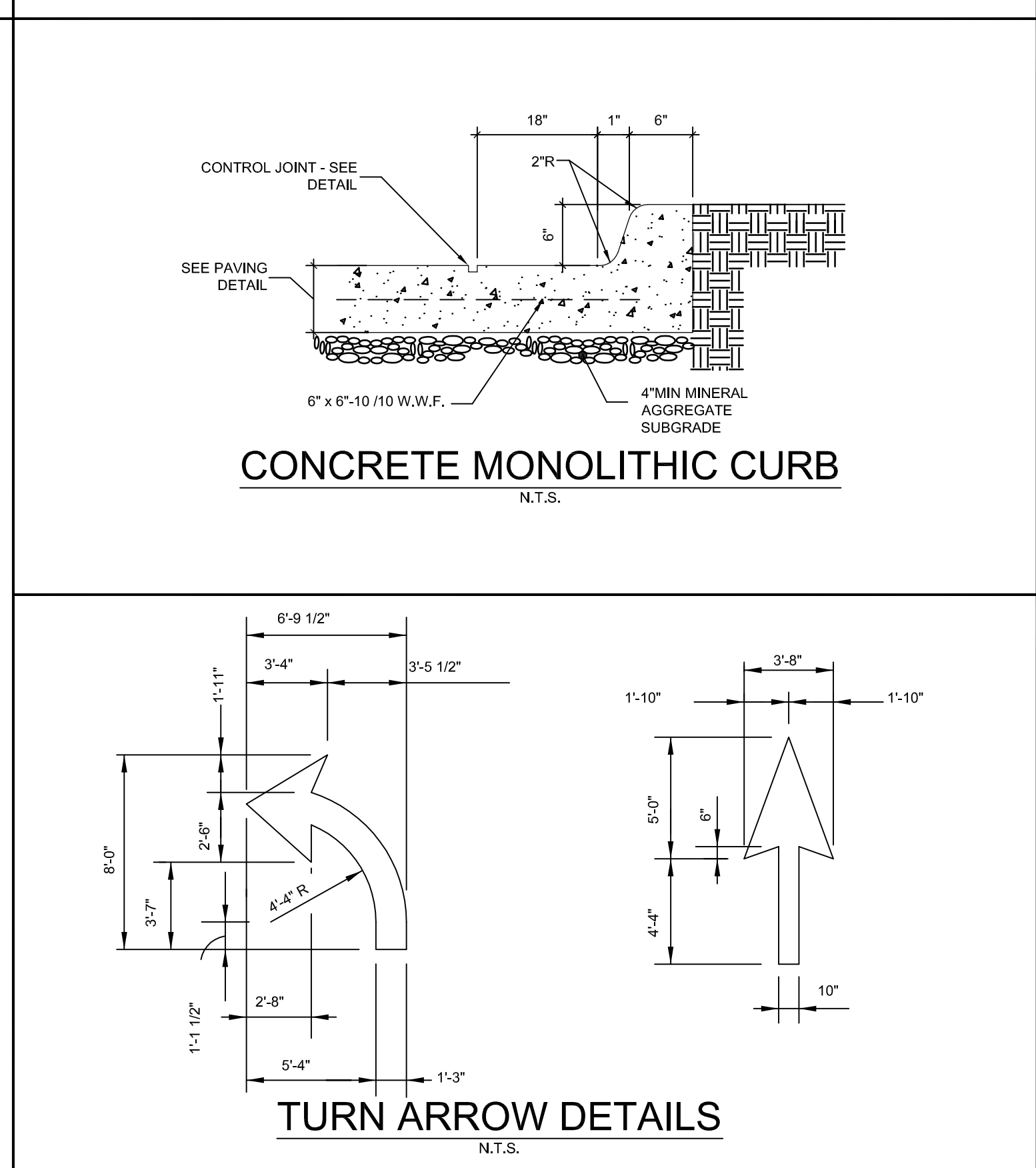
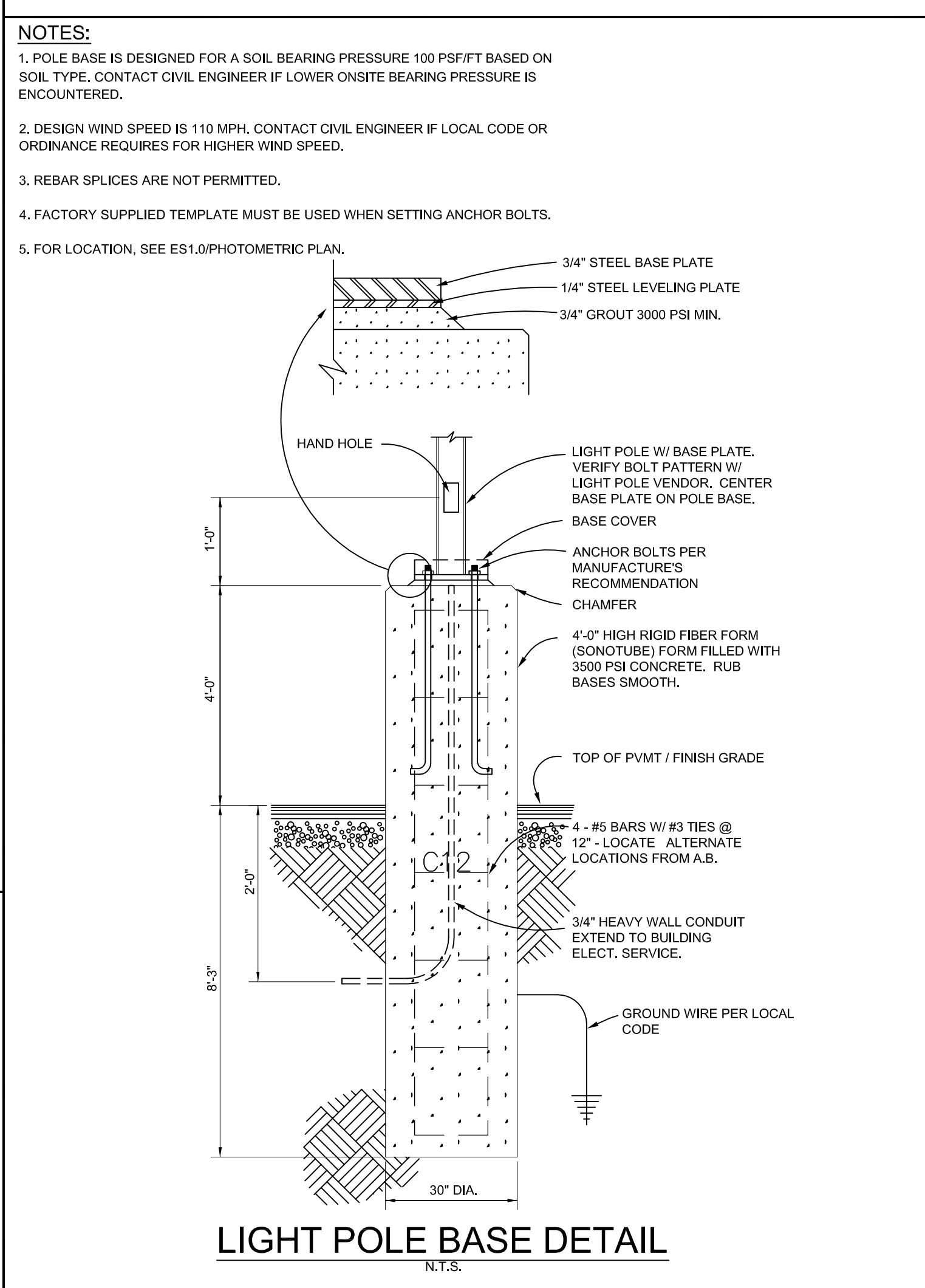
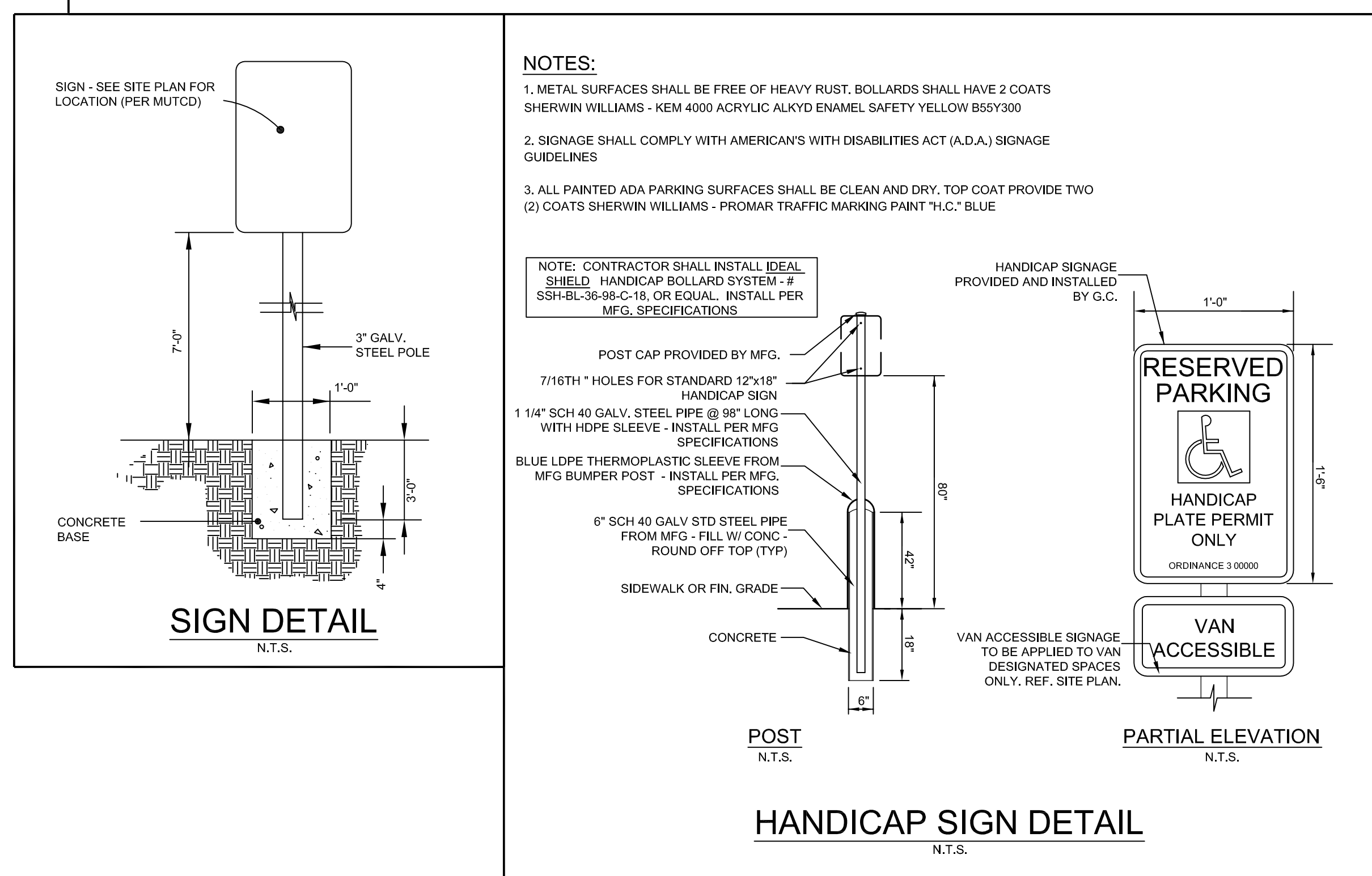
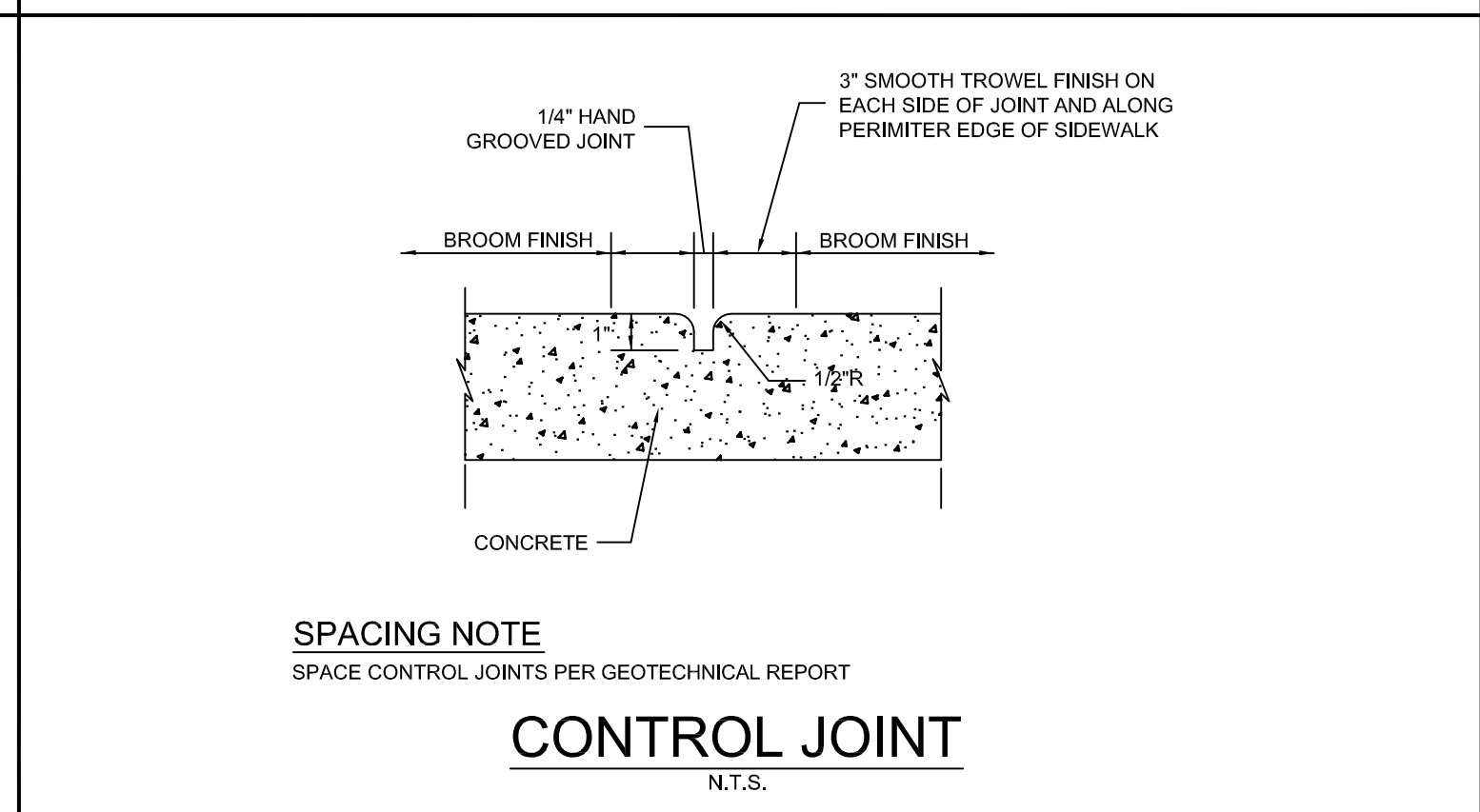
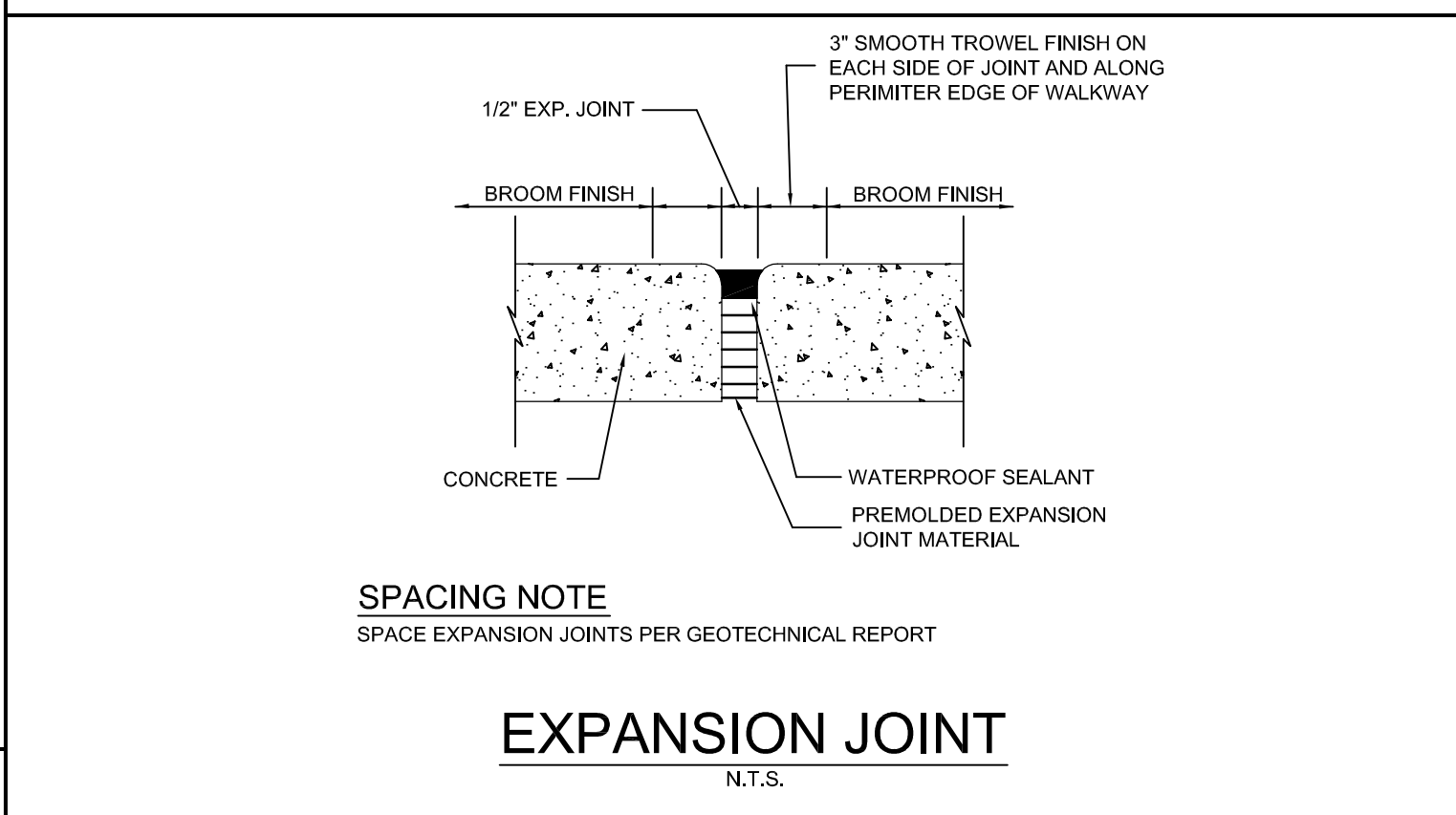
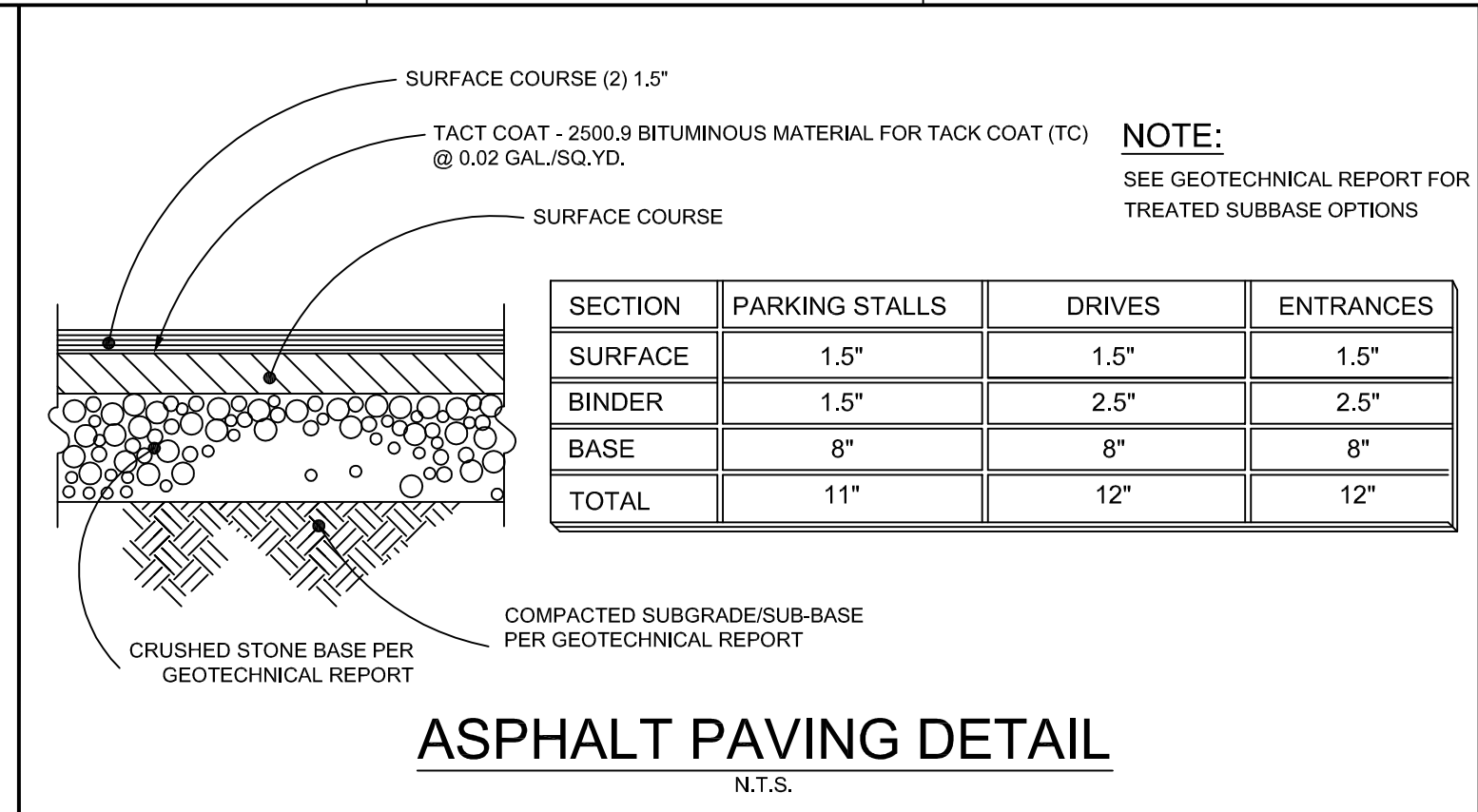
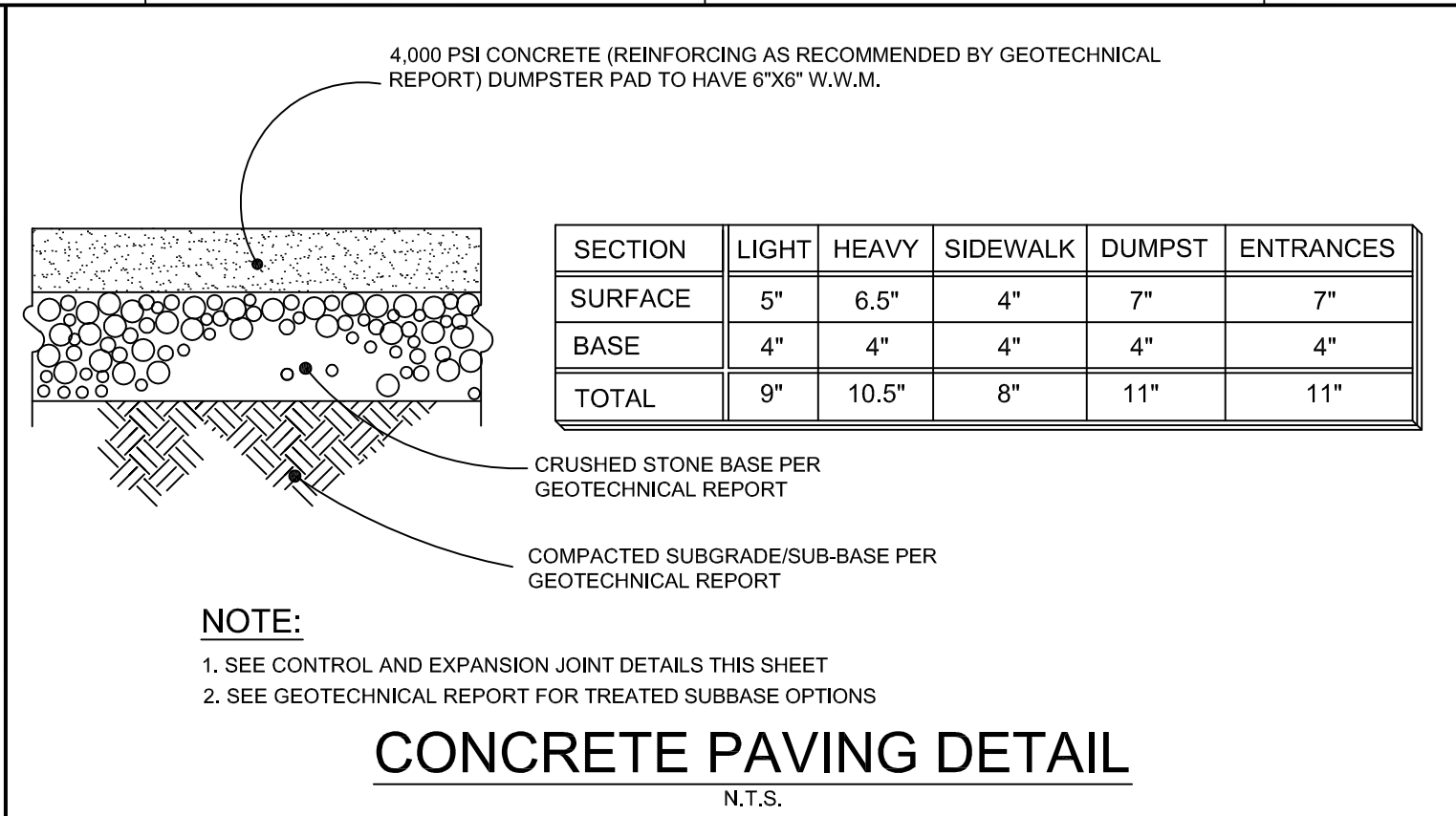
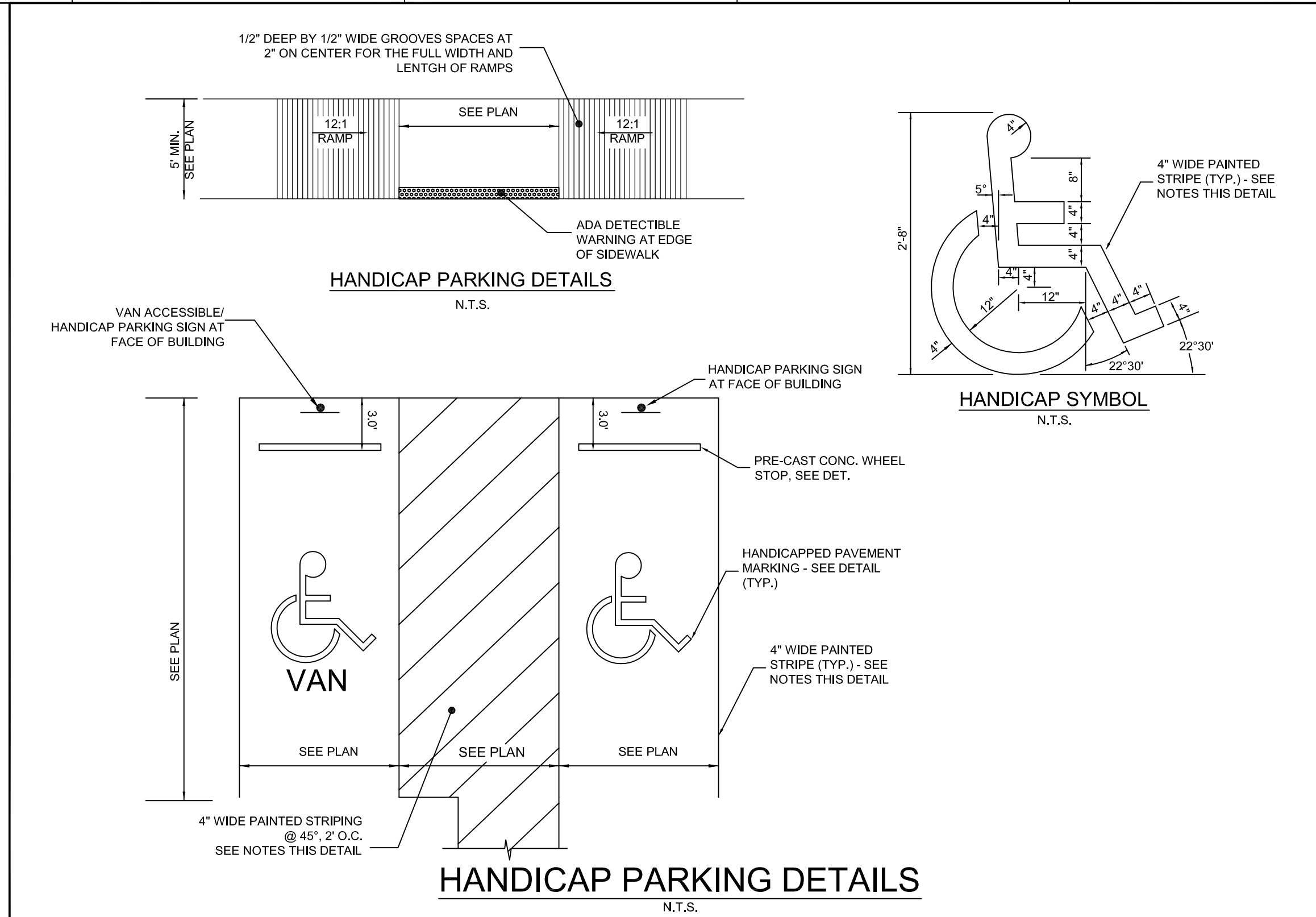
SITE PLAN

C02.1

TRUE WARM & WELCOME 2300 R3

ISSUE FOR BID 06-10-22

ISSUE FOR BID 06-10-22



PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
Rosemead, California 91770
Telephone: 626.799.9898
Facsimile: 626.372.8288

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:		

ISSUE DATE:		
PERMIT / BID SET	03-03-22	
CITY COMMENTS	04-29-22	
ISSUE FOR BID	06-10-22	

DRAWN BY: PTD

PANDA PROJECT #: S8-21-D8512
PANDA STORE #: D8512
ARCH PROJECT #: XXXXX-XXX

Civil Engineering Services
Engineering, Land Planning

CEs

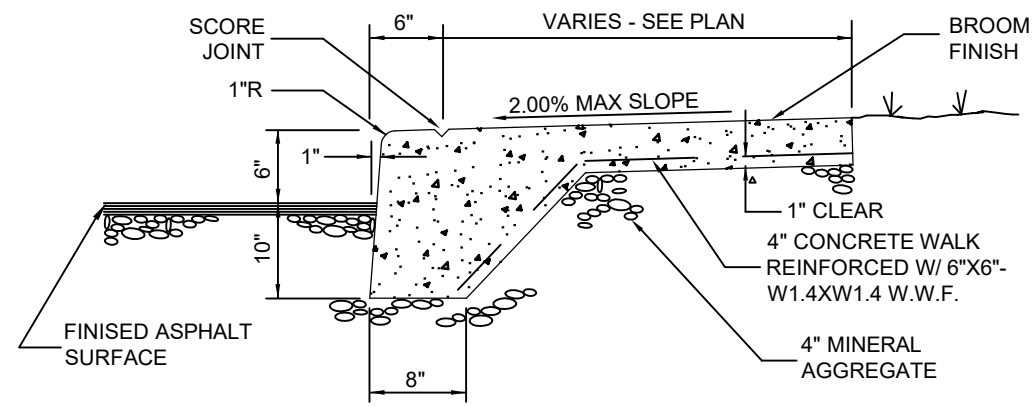
7705 Spicer Farm Lane
Fairview, Tennessee
37062
Phone: (615) 533-0401

e-mail: ray@civilengineeringservices.net

RAY G. FLAKE
PROFESSIONAL ENGINEER
AGRICULTURE
STATE OF TENNESSEE
04/29/2022

PANDA EXPRESS
TRUE WARM & WELCOME
4158 ROBERTS LANE
MORRISTOWN, TN 37813

HARDSCAPE
DETAILS I
C03.1

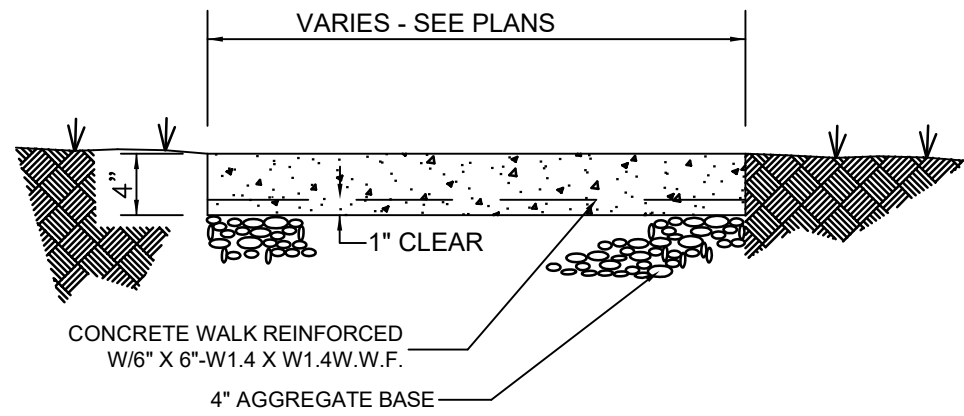


SPACING NOTES

1. EXPANSION JOINTS SPACED AT 20' O.C. - SEE DETAIL
2. CONTROL JOINTS SPACED AT 5' O.C. - SEE DETAIL
3. WHERE SIDEWALK ABUTS FACE OF BUILDING, PROVIDE EXPENSION JOINT.

CONCRETE SIDEWALK WITH HAUNCHED CURB

N.T.S.

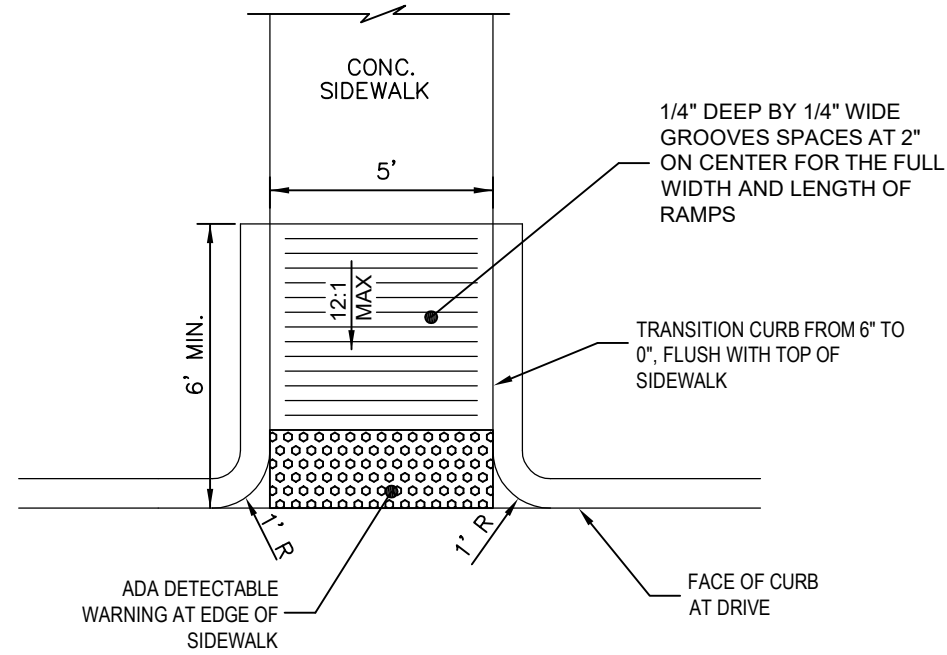


NOTES:

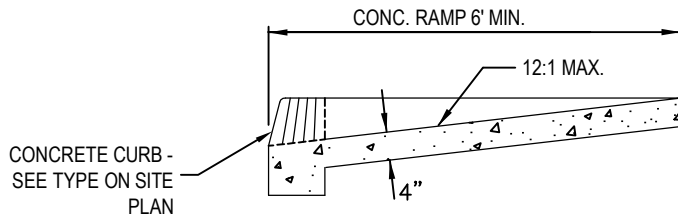
1. PROVIDE CONTROL JOINTS PER DETAIL THIS SHEET SPACED EVERY 5 FT. AND EXPANSION JOINTS PER DETAIL THIS SHEET EVERY 20 FT.
2. SUBGRADE COMPACTED PER SOILS REPORT
3. WHERE SIDEWALK ABUTS FACE OF BUILDING, PROVIDE EXPENSION JOINT.

CONCRETE SIDEWALK

N.T.S.



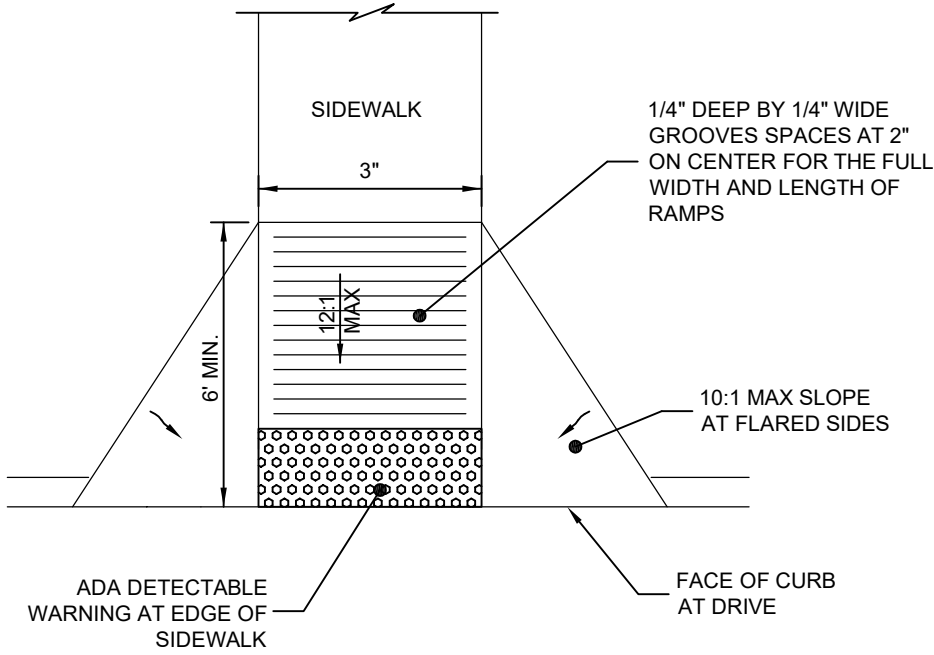
RAMP PLAN VIEW



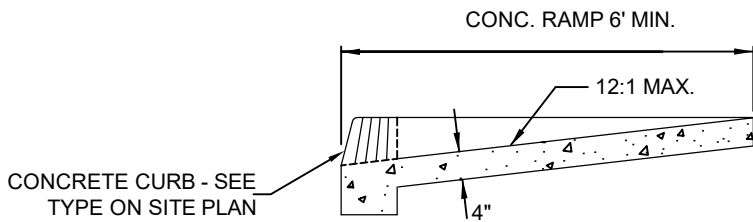
RAMP SECTION

ADA ACCESSIBLE RAMP

N.T.S.



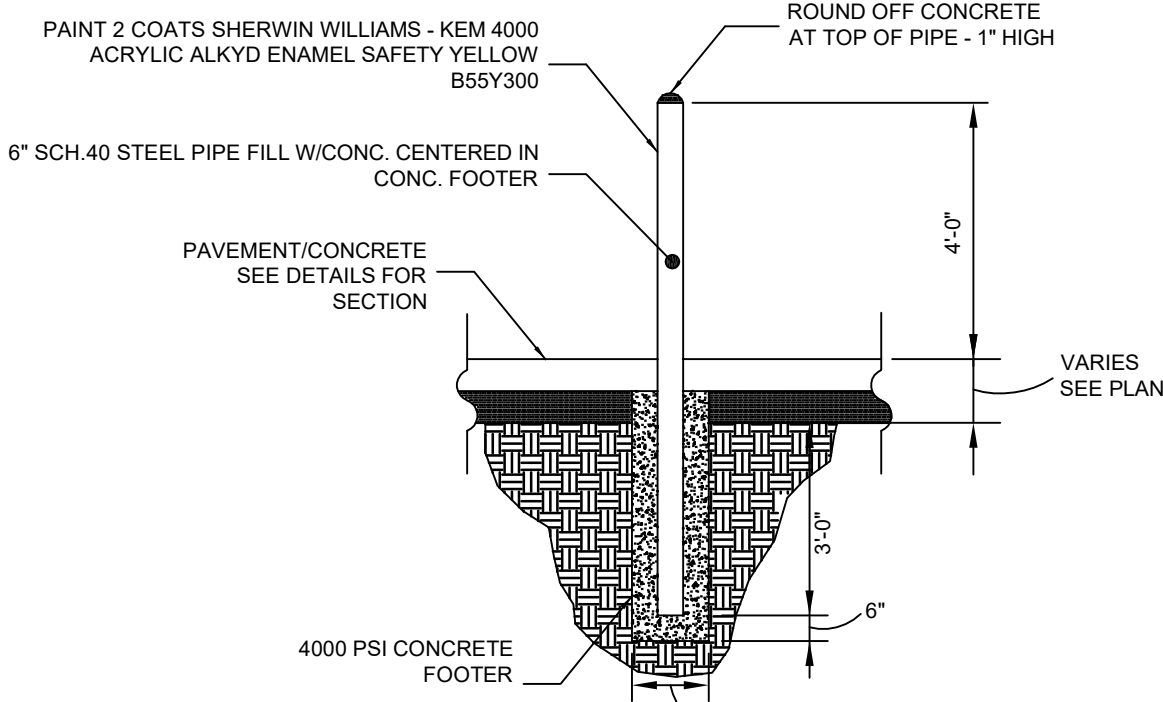
RAMP PLAN VIEW



RAMP SECTION

ADA ACCESSIBLE RAMP WITH FLARED SIDE SLOPES

N.T.S.



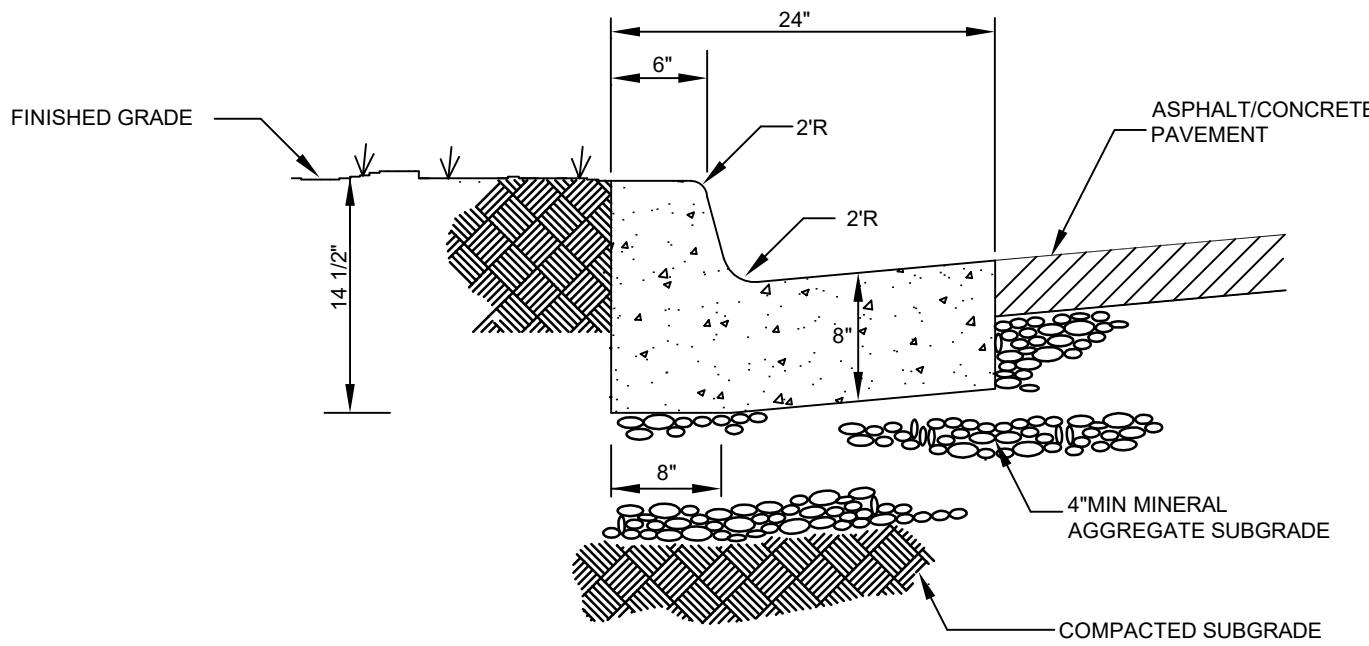
BOLLARD DETAIL

N.T.S.

NOTE:

REVERSE SLOPE OF GUTTER WHERE PAVEMENT SLOPES AWAY FROM CURB LINE - MATCH PROPOSED PAVEMENT SLOPE

SEE GEOTECHNICAL REPORT FOR TREATED SUBBASE OPTIONS.



CONCRETE CURB & GUTTER

N.T.S.



PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
Rosemead, California
91770

Telephone: 626.799.9898
Facsimile: 626.372.8288

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

ISSUE DATE:

PERMIT / BID SET	03-03-22
CITY COMMENTS	04-29-22
ISSUE FOR BID	06-10-22

DRAWN BY: PTD

PANDA PROJECT #: S8-21-D8512

PANDA STORE #: D8512

ARCH PROJECT #: XXXXX-XXX



PANDA EXPRESS

TRUE WARM & WELCOME
4158 ROBERTS LANE
MORRISTOWN, TN 37813

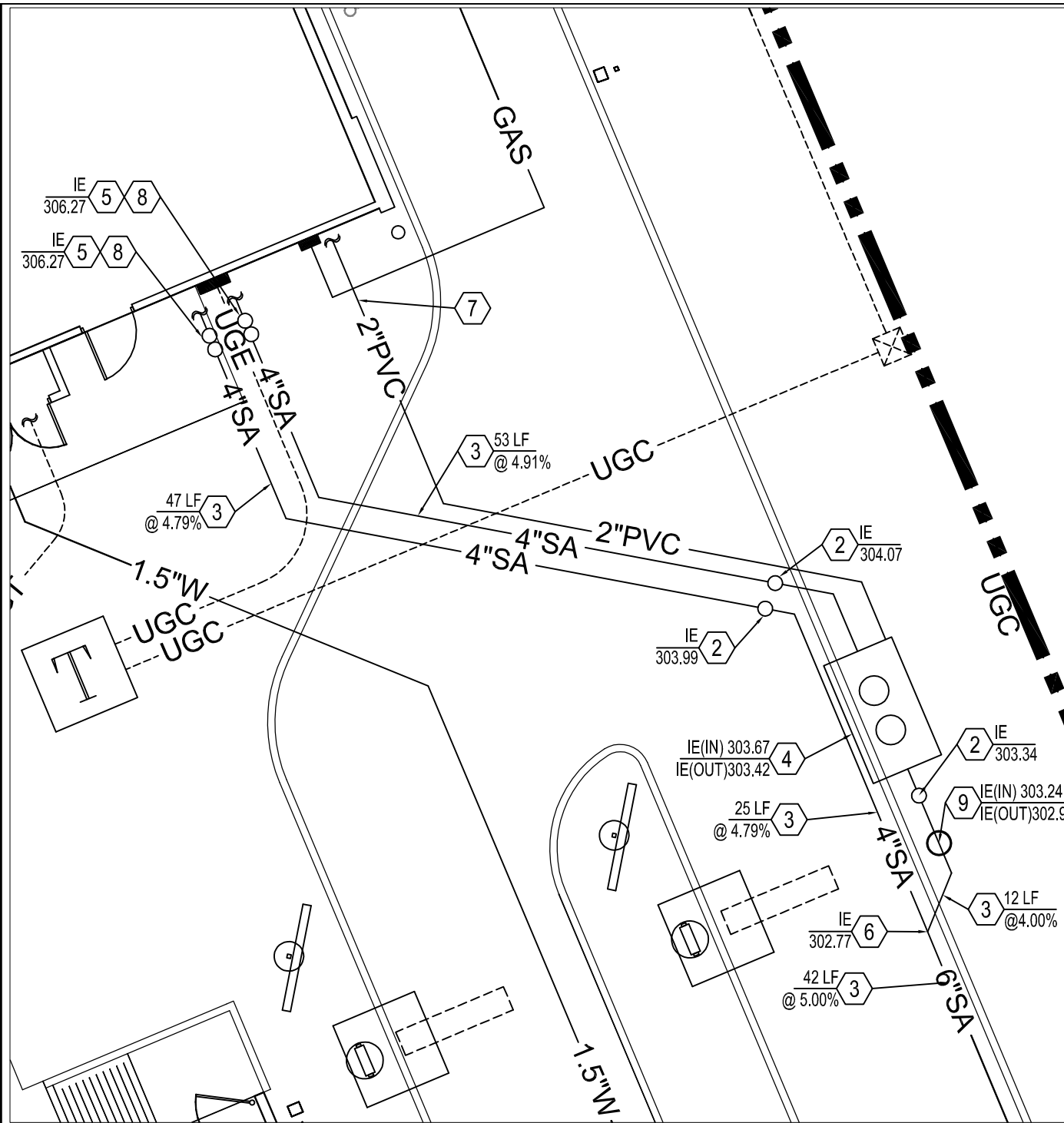
HARDSCAPE
DETAILS II

C03.2

TRUE WARM & WELCOME 2300 R3

ISSUE FOR BID 06-10-22

ISSUE FOR BID 06-10-22



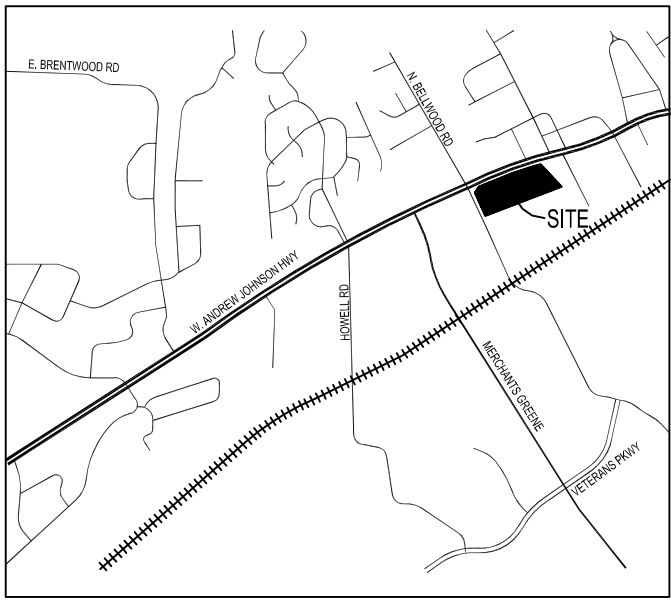
SANITARY SEWER AT BUILDING

SCALE 1"=10'

CONSTRUCTION NOTE:
DESIGN OF THE PANDA EXPRESS SITE, AS SHOWN IN THESE PLANS, ARE BASED UPON THE PROPOSED CONSTRUCTION PLANS FOR THE SUBJECT PROPERTY AND SURROUNDING SITE WORK. CONTRACTOR SHALL FIELD VERIFY ELEVATIONS, UTILITIES, AND SITE FEATURES PRIOR TO ANY WORK DONE. NOTIFY OWNER/ENGINEER OF ANY CONFLICTS WITH DESIGN PRIOR TO ANY WORK DONE.

UTILITY NOTES:
THE CONTRACTOR IS REQUIRED TO CONTACT CROSS CONNECTION INSPECTOR MICHAEL ROBESON TO ASSURE COMPLIANCE WITH THE MU PROGRAM REQUIREMENTS. CONTACT INFORMATION: MROBESON@MUSFIBER.NET <mrobeson@mufiber.net> OR 423.736.2234 THE MU POINT OF CONTACT FOR THIS PROJECT IS RALPH "BUDDY" FIELDER CONTACT INFORMATION: RFIELDER@MUSFIBER.NET OR 423.312.1907.

THE CONTRACTOR IS REQUIRED TO CONTACT WTP MANAGER BARRY CALFEE TO ASSURE COMPLIANCE WITH THE MU FATS OIL AND GREASE PROGRAM REQUIREMENTS. CONTACT INFORMATION: SCALFEE@MUSFIBER.NET <mcalfee@mufiber.net> OR 423.839.9771. THE MU POINT OF CONTACT FOR THIS PROJECT IS RALPH "BUDDY" FIELDER CONTACT INFORMATION: RFIELDER@MUSFIBER.NET OR 423.312.1907.



LOCATION MAP
NOT TO SCALE

PROPOSED LEGEND

- SA SANITARY SEWER LINE PER LOCAL UTILITY COMPANY SPECS.
- W WATER LINE PER LOCAL UTILITY CO SPECS.
- GAS GAS LINE PER LOCAL UTILITY CO SPECS.
- UGE UNDERGROUND ELECTRIC SERVICE PER LOCAL UTILITY CO SPECS.
- UGC UNDERGROUND TELEPHONE AND COMMUNICATIONS SERVICE PER LOCAL UTILITY CO SPECS.
- GREASE TRAP - SEE PLUMBING PLANS
- WM WATER METER PER SERVICE PROVIDER SPECS.
- RPZ ABOVE GROUND RPZ WITH HEATED ENCLOSURE
- GAS METER PER SERVICE PROVIDER SPECS.
- ELECTRIC METER PER SERVICE PROVIDER SPECS.

GENERAL NOTES

SEE UTILITY NOTES ON SHEET C01.1

PROPOSED UTILITY BLOCK NOTES

SANITARY SEWER SERVICE:

- TIE TO EXISTING SANITARY SEWER PER LOCAL SERVICE PROVIDER SPECS. - FIELD VERIFY PRIOR TO ANY WORK DONE - THE DISTRICT OPERATOR WILL INSTALL THE PROPOSED MANHOLE ON THE EXISTING LINE
- INSTALL SANITARY SEWER LATERAL CLEANOUT - SEE THIS SHEET FOR INVERT - SEE DETAIL SHEET (C04.1)
- INSTALL SEWER LINE PER LOCAL SERVICE PROVIDER SPECS. - SEE SLOPE AND LENGTH THIS SHEET - COORDINATE WITH LOCAL SERVICE PROVIDER PRIOR TO ANY WORK DONE
- INSTALL GREASE TRAP WITH TRAFFIC RATED MANHOLE COVERS AND FRAMES - SEE PLUMBING PLANS FOR SIZE - RIMS TO MATCH PROPOSED GRADES
- SANITARY SEWER SERVICE ENTRY FROM BUILDING - SEE ELEVATION THIS SHEET - SEE PLUMBING PLANS FOR CONTINUATION AND POINT OF ENTRY
- PROVIDE 8"x6"x6" SANITARY SEWER WYE WITH 4"x6" REDUCES PER SERVICE PROVIDER SPECS. - SEE THIS SHEET FOR INVERTS
- 2" VENT PIPE FROM GREASE TRAP TO BUILDING - SEE M.E.P. PLANS FOR ENTRY AND DETAILS
- INSTALL SANITARY SEWER TWO WAY LATERAL CLEANOUT - SEE THIS SHEET FOR INVERT - SEE DETAIL SHEET (C04.1)
- PROVIDE SCHIER PRODUCTS SV10 WASTEWATER SAMPLING PORT PER CITY SPECIFICATIONS - RIM TO MATCH FINISHED GRADE - SEE INVERT ELEVATIONS THIS SHEET - SEE DETAIL SHEET (C04.1)

WATER SERVICE:

- CONNECT TO EXISTING WATER 2" WATERLINE STUB WITH 2" GATE VALVE PER LOCAL SERVICE PROVIDER SPECS. - COORDINATE WITH SERVICE PROVIDER PRIOR TO ANY WORK DONE
- PROVIDE 2" WATERLINE AND 2" TEE WITH 1.5" REDUCER FOR DOMESTIC SERVICE AND 1" REDUCER FOR IRRIGATION SERVICE PER SERVICE PROVIDER SPECS.
- 1" METER AND ABOVE GROUND RPBP IN HEATED ENCLOSURE FOR IRRIGATION WATER SERVICE PER LOCAL SERVICE PROVIDER JURISDICTION - COORDINATE WITH SERVICE PROVIDER PRIOR TO ANY WORK DONE
- 1.5" METER AND ABOVE GROUND RPBP IN HEATED ENCLOSURE FOR DOMESTIC WATER SERVICE PER LOCAL SERVICE PROVIDER JURISDICTION - COORDINATE WITH SERVICE PROVIDER PRIOR TO ANY WORK DONE
- STUB OUT 1" SCH 40 PVC LINE FOR IRRIGATION
- PRIVATE DOMESTIC WATER SERVICE LINE - INSTALL 1 1/2" CLASS 200, DR9 HDPE PIPE (POLYPIPE PAWPE3408/PE3608 OR APPROVED EQUAL) - COORDINATE WITH SERVICE PROVIDER PRIOR TO ANY WORK DONE
- DOMESTIC WATER SERVICE ENTRY PER CITY SPECS. - SEE ELEVATION THIS SHEET - SEE PLUMBING PLANS
- PROVIDE CONCRETE PAD AT ABOVE GROUND RPZ AND ENCLOSURE - SEE DETAIL SHEET C0.1

ELECTRIC SERVICE:

- CONNECTION TO EXISTING ELECTRICAL SERVICE PER LOCAL SERVICE PROVIDER SPECS. - G.C. TO COORDINATE WITH LOCAL SERVICE PROVIDER PRIOR TO ANY WORK DONE
- PRIMARY UNDERGROUND ELECTRICAL PER LOCAL SERVICE PROVIDER SPECS. - COORDINATE WITH LOCAL SERVICE PROVIDER PRIOR TO ANY WORK DONE
- PROPOSED PAD TRANSFORMER - COORDINATE WITH LOCAL SERVICE PROVIDER PRIOR TO ANY WORK DONE
- SECONDARY UNDERGROUND ELECTRIC PER LOCAL SERVICE PROVIDER SPECS. - COORDINATE WITH LOCAL SERVICE PROVIDER PRIOR TO ANY WORK DONE - SEE ELECTRICAL PLANS FOR CONDUIT SIZE AND CONNECTION POINT INTO THE BUILDING.
- ELECTRIC SERVICE POINT OF ENTRY INTO BUILDING - SEE ELECTRICAL PLANS FOR CONDUIT SIZE AND CONNECTION POINT INTO THE BUILDING.
- ELECTRIC SERVICE PULL BOX PER SERVICE PROVIDER SPECS. - G.C. TO COORDINATE WITH LOCAL SERVICE PROVIDER PRIOR TO ANY WORK DONE

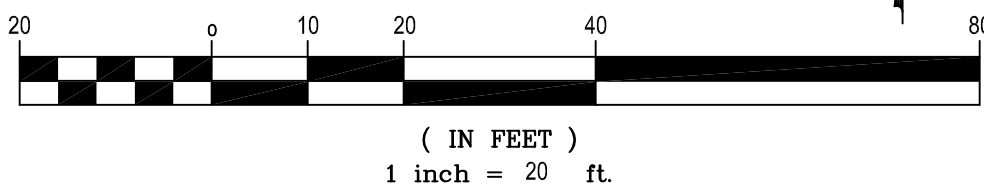
COMMUNICATIONS SERVICE:

- POINT OF CONNECTION FOR TELEPHONE / COMMUNICATIONS SERVICE PER SERVICE PROVIDER SPECS. - COORDINATE WITH SERVICE PROVIDER PRIOR TO ANY WORK DONE
- UNDERGROUND TELEPHONE / COMMUNICATIONS PER LOCAL SERVICE PROVIDER REQUIREMENTS COORDINATE WITH LOCAL SERVICE PROVIDERS PRIOR TO ANY WORK DONE - SEE M.E.P. PLANS FOR DEMANDS, SIZE, AND CONNECTION POINT INTO THE BUILDING.
- UNDERGROUND TELEPHONE / COMMUNICATIONS POINT INTO THE BUILDING - COORDINATE WITH ELECTRIC SERVICE PROVIDER PRIOR TO ANY WORK DONE - SEE M.E.P. PLANS FOR DEMANDS, SIZE, AND CONNECTION POINT INTO THE BUILDING - PROVIDE BOLLARD SEE PLAN - SEE DETAIL

GAS SERVICE:

- TIE TO EXISTING GAS LINE PER LOCAL SERVICE PROVIDER REQUIREMENTS - COORDINATE WITH LOCAL SERVICE PROVIDER PRIOR TO ANY WORK DONE
- GAS SERVICE PER LOCAL SERVICE PROVIDER SPECS. - COORDINATE WITH SERVICE PROVIDER PRIOR TO ANY WORK DONE
- GAS METER AND SERVICE POINT INTO THE BUILDING - COORDINATE WITH ELECTRIC SERVICE PROVIDER PRIOR TO ANY WORK DONE - SEE M.E.P. PLANS FOR DEMANDS, SIZE, AND CONNECTION POINT INTO THE BUILDING

GRAPHIC SCALE



FLOOD ZONE

THE SUBJECT PROPERTY IS LOCATED IN SPECIAL FLOOD HAZARD AREA ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2 % ANNUAL CHANCE FLOODPLAIN) AS PER FLOOD LINES ESTABLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY AS SHOWN ON FLOOD INSURANCE RATE MAP NUMBER 47063C0130E, DATED: JULY 03, 20160

BM-10
IRON ROD WITH CAP
NORTHING: 687497.397
EASTING: 2748273.040
ELEVATION: 1299.14'

BM-150
NGS - F129
NORTHING: 686304.831
EASTING: 2748923.413
ELEVATION: 1270.72'



PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
Rosemead, California
91770
Telephone: 626.799.9898
Facsimile: 626.372.8288

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

ISSUE DATE:

PERMIT / BID SET	03-03-22
CITY COMMENTS	04-29-22
ISSUE FOR BID	06-10-22

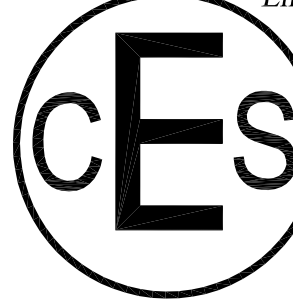
DRAWN BY: PTD

PANDA PROJECT #: S8-21-D8512

PANDA STORE #: D8512

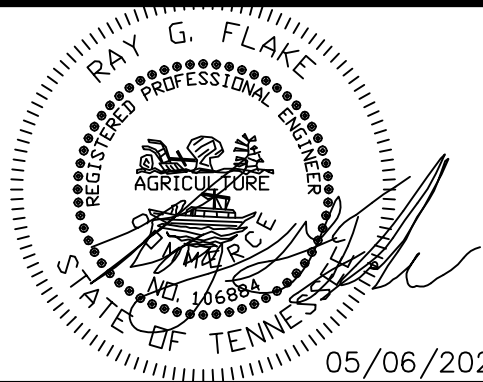
ARCH PROJECT #: XXXXX-XXX

Civil Engineering Services
Engineering, Land Planning



7705 Spicer Farm Lane
Fairview, Tennessee
37062
Phone: (615) 533-0401

e-mail: ray@civilengineeringservices.net



PANDA EXPRESS

TRUE WARM & WELCOME
4158 ROBERTS LANE
MORRISTOWN, TN 37813

UTILITY PLAN

C04.0

TRUE WARM & WELCOME 2300 R3

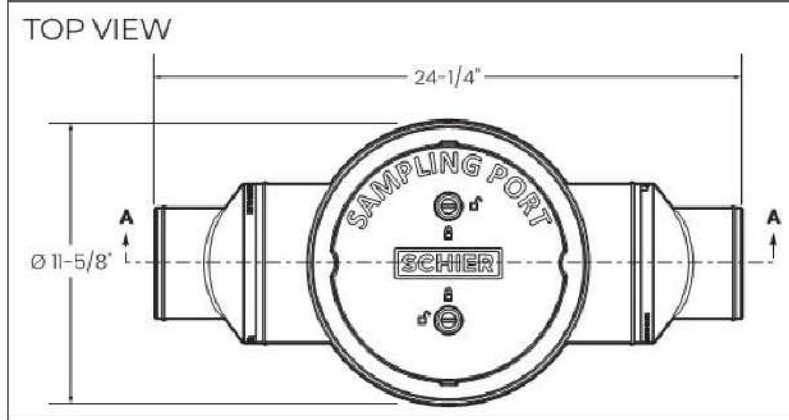
SPECIFICATIONS

NOTES

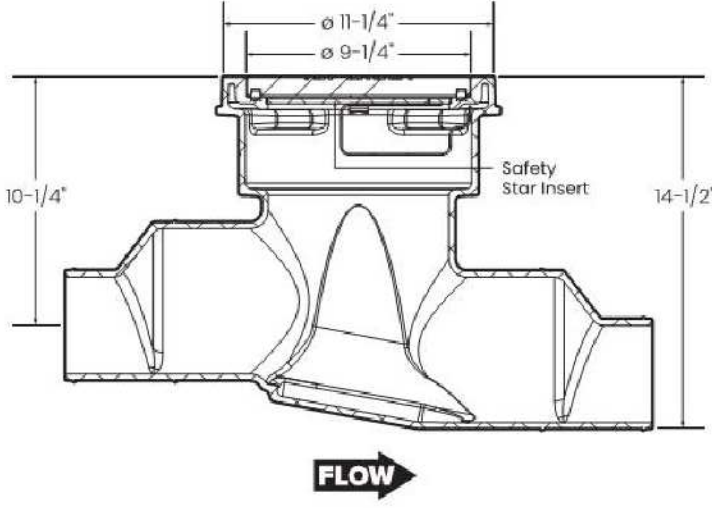
1. 4" plain end inlet/outlet (field modifiable to 6" plain end)
2. Unit weights 9 lbs.
3. Maximum operating temperature: 150 °F continuous
4. Offset connections
5. 2 rolls of 33" x 2" butyl mastic tape provided for sealing build-your-own-riser joints.

ENGINEER SPECIFICATION GUIDE

Schier Sewer Viewer™ sampling port model # SV10 shall be lifetime guaranteed and made in USA of seamless, rotationally-molded polyethylene. Sampling port shall be furnished for above or below grade installation. Cover shall provide water/ gas-tight seal and have maximum 16,000 lbs. load capacity.



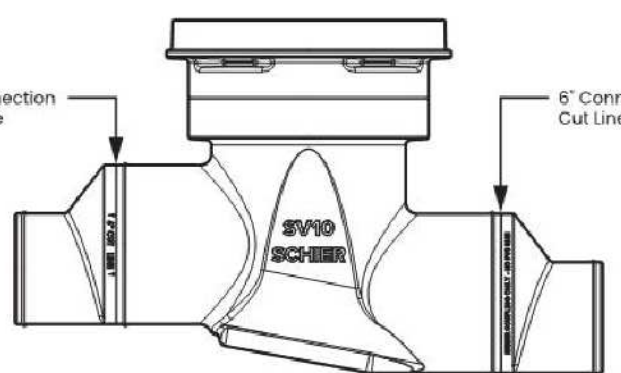
SECTION A-A



INLET END VIEW



SIDE VIEW



SCHIER

1908 Woodend Road | Edwardsville, KS 66111 | 913-951-3360 | schierproducts.com

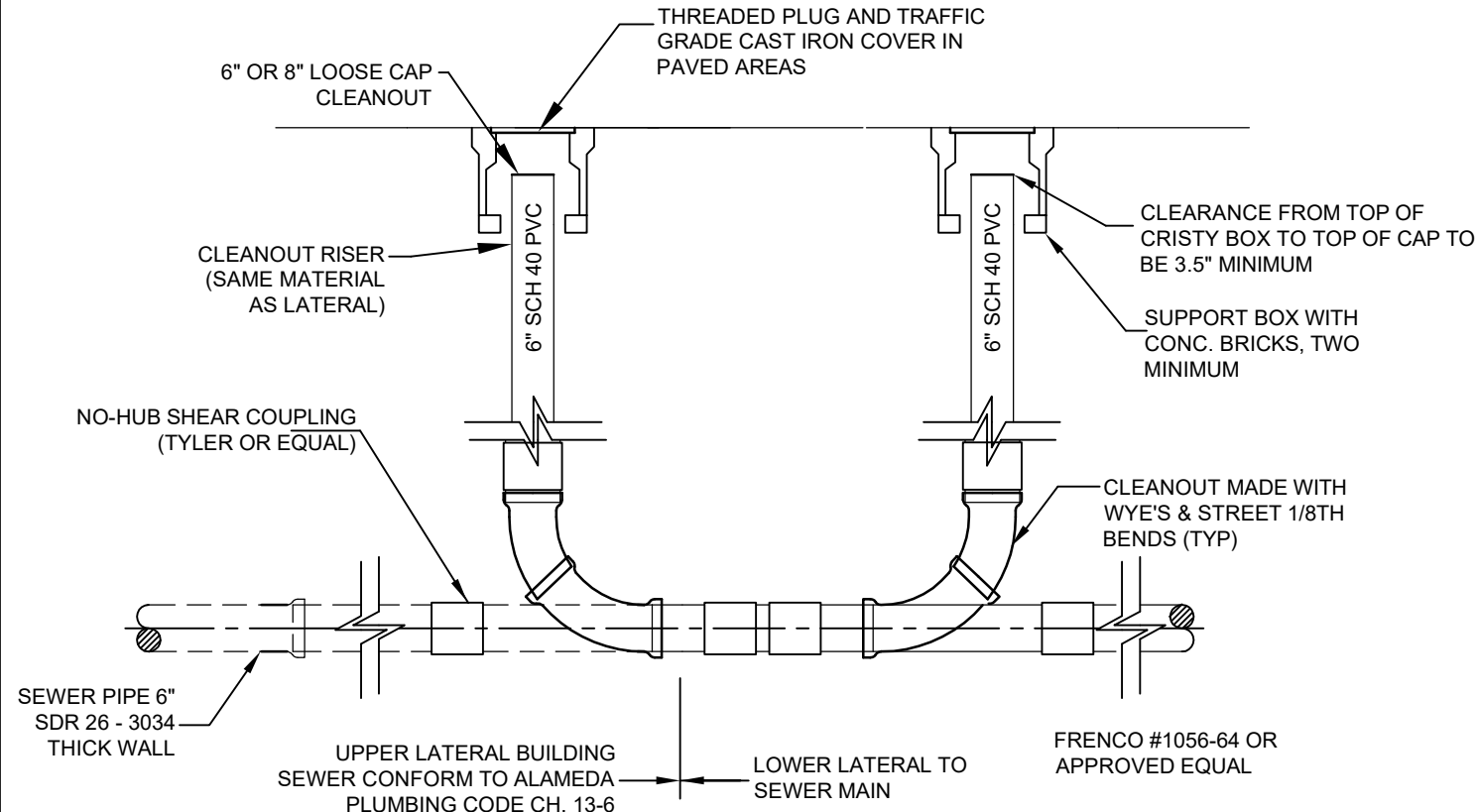
© Copyright 2020 Schier, All Rights Reserved.

MODEL NUMBER: **SV10**
DESCRIPTION: Polyethylene Wastewater Sampling Port

PART #: 8065-001-01 DWG BY: B. Kanner DATE: 3/1/2020 REV: ECO:

SAMPLING WELL DETAIL

N.T.S.

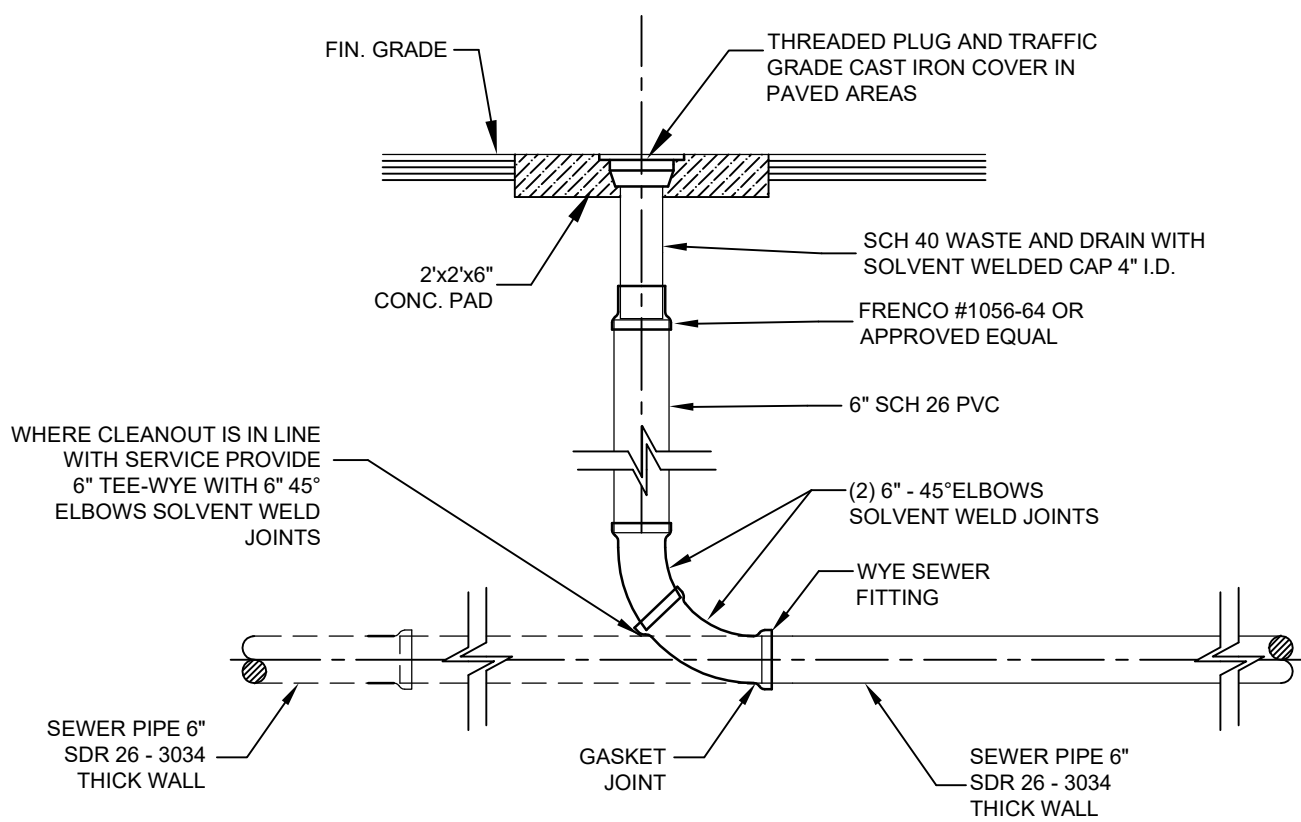


NOTE:

IN GRASS AREAS WHERE NO PAVEMENT IS PROPOSED, CONCRETE PAD SHALL NOT BE CONSTRUCTED.

PRIVATE SANITARY SEWER TWO WAY CLEANOUT

N.T.S.

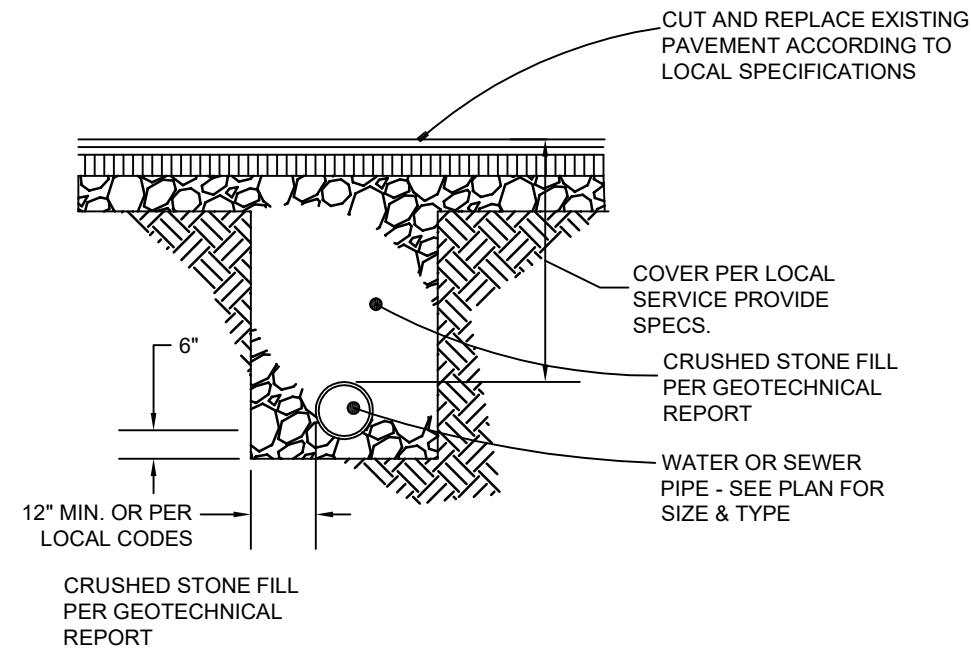


NOTE:

IN GRASS AREAS WHERE NO PAVEMENT IS PROPOSED, CONCRETE PAD SHALL NOT BE CONSTRUCTED.

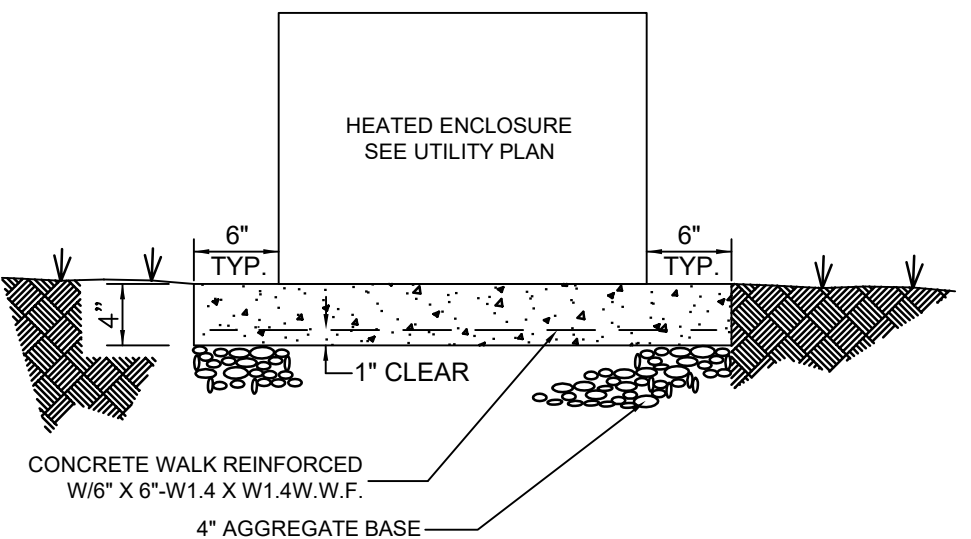
PRIVATE SANITARY SEWER CLEANOUT

N.T.S.



UTILITY TRENCH DETAIL

N.T.S.



NOTE:

1. SUBGRADE COMPACTED PER SOILS REPORT.
2. CONDUITS AND WATERLINES THRU PAD AS REQUIRED PER SERVICE PROVIDER SPECS.

CONCRETE PAD AT BACKFLOW PREVENTER

N.T.S.



PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
Rosemead, California
91770

Telephone: 626.799.9898
Facsimile: 626.372.8268

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

ISSUE DATE:

PERMIT / BID SET	03-03-22
CITY COMMENTS	04-29-22
ISSUE FOR BID	06-10-22

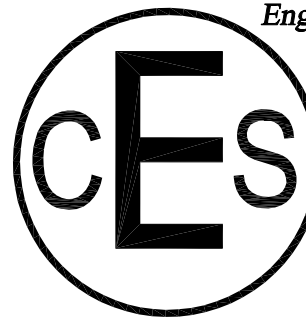
DRAWN BY: PTD

PANDA PROJECT #: S8-21-D8512

PANDA STORE #: D8512

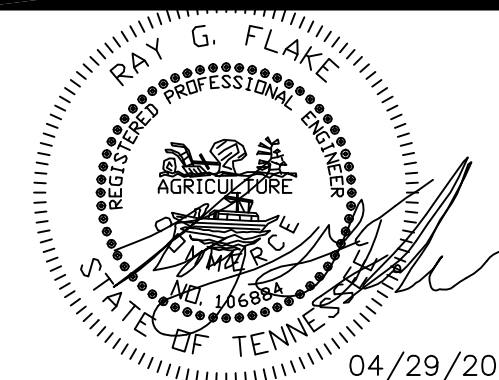
ARCH PROJECT #: XXXXX-XXX

Civil Engineering Services
Engineering, Land Planning



7705 Spicer Farm Lane
Fairview, Tennessee
37062
Phone: (615) 533-0401

e-mail: ray@civilengineeringservices.net



PANDA EXPRESS

TRUE WARM & WELCOME
4158 ROBERTS LANE
MORRISTOWN, TN 37813

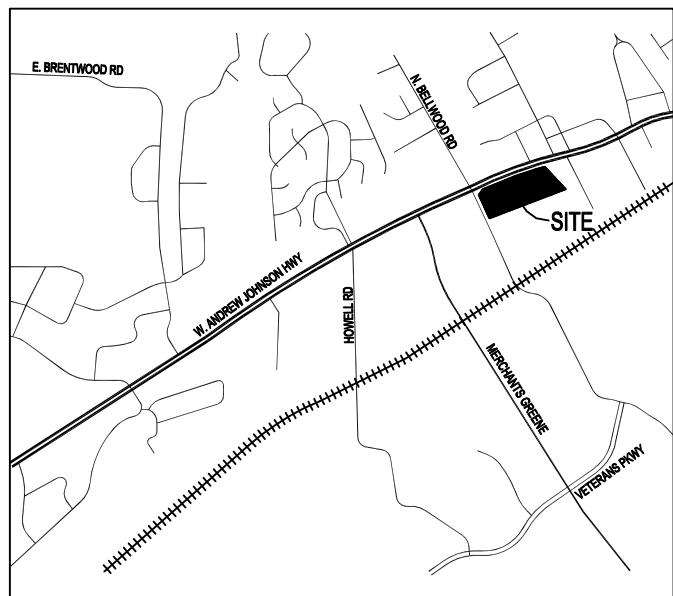
UTILITY DETAIL
SHEET

C04.1

TRUE WARM & WELCOME 2300 R3

ISSUE FOR BID 06-10-22

ISSUE FOR BID 06-10-22



LOCATION MAP
NOT TO SCALE

PROPOSED GRADING LEGEND

TC	PROPOSED TOP OF CURB ELEVATION
P	PROPOSED BOTTOM OF CURB/PAVEMENT ELEVATION
G	PROPOSED GUTTER LINE ELEVATION
FG	PROPOSED FINISHED GRADE ELEVATION
SW	PROPOSED SIDEWALK ELEVATION
HP	PROPOSED HIGH POINT ELEVATION
MG	MATCH EXISTING GRADE ELEVATION
IE	PROPOSED INVERT ELEVATION
RIM	PROPOSED TOP OF GRATE ELEVATION
-----	LIMITS OF DISTURBANCE
2.00%	PROPOSED SLOPE DIRECTION
[Symbol]	PROPOSED STORM WATER CURB INLET
[Symbol]	PROPOSED STORM WATER AREA INLET

GRADING NOTE BLOCKS

- 1 LIMITS OF LAND DISTURBANCE
- 2 MATCH EXISTING GRADE
- 3 PROVIDE 2.00% MAXIMUM CROSS SLOPE

GRADING NOTES

SEE SHEET C01.1 FOR GRADING NOTES

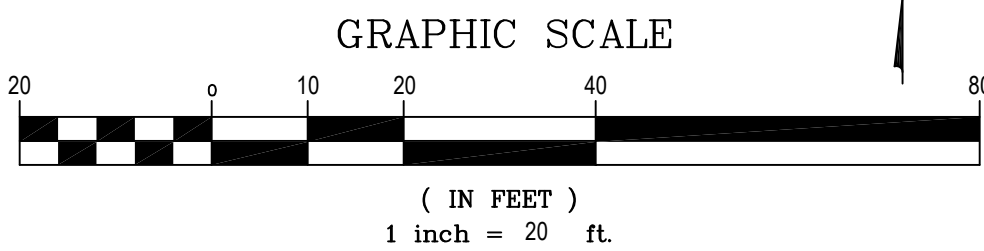
GRADING INFORMATION

LIMITS OF DISTURBANCE = 48,615 SF / 1.12 AC

CONSTRUCTION NOTE:
DESIGN OF THE PANDA EXPRESS SITE, AS SHOWN IN THESE PLANS, ARE BASED UPON THE PROPOSED CONSTRUCTION PLANS FOR THE SUBJECT PROPERTY AND SURROUNDING SITE WORK. CONTRACTOR SHALL FIELD VERIFY ELEVATIONS, UTILITIES, AND SITE FEATURES PRIOR TO ANY WORK DONE. NOTIFY OWNER/ENGINEER OF ANY CONFLICTS WITH DESIGN PRIOR TO ANY WORK DONE.

ALL DISTURBED AREA SHALL BE STABILIZED WITH SOD, COMMON TO THE REGION - SEE LANDSCAPE PLAN

EQUIVALENT RESIDENTIAL UNITS
30,812 SQ.FT. IMPERVIOUS / 2400
SQ.FT. = 12.8 ERU



FLOOD ZONE
THE SUBJECT PROPERTY IS LOCATED IN SPECIAL FLOOD HAZARD AREA ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS PER FLOOD LINES ESTABLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY AS SHOWN ON FLOOD INSURANCE RATE MAP NUMBER 47063C0130E, DATED: JULY 03, 20160

BM-10
IRON ROD WITH CAP
NORTHING: 687497.397
EASTING: 2748273.040
ELEVATION: 1299.14'

BM-150
NGS - F129
NORTHING: 686304.831
EASTING: 2748923.413
ELEVATION: 1270.72'



PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
Rosemead, California
91770

Telephone: 626.799.9898
Facsimile: 626.372.8268

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

ISSUE DATE:

PERMIT / BID SET	03-03-22
CITY COMMENTS	04-29-22
ISSUE FOR BID	06-10-22

DRAWN BY: PTD

PANDA PROJECT #: S8-21-D8512

PANDA STORE #: D8512

ARCH PROJECT #: XXXX-XXX

Civil Engineering Services
Engineering, Land Planning

CEs

7705 Spicer Farm Lane
Fairview, Tennessee
37062
Phone: (615) 533-0401

e-mail: ray@civilengineeringservices.net



PANDA EXPRESS

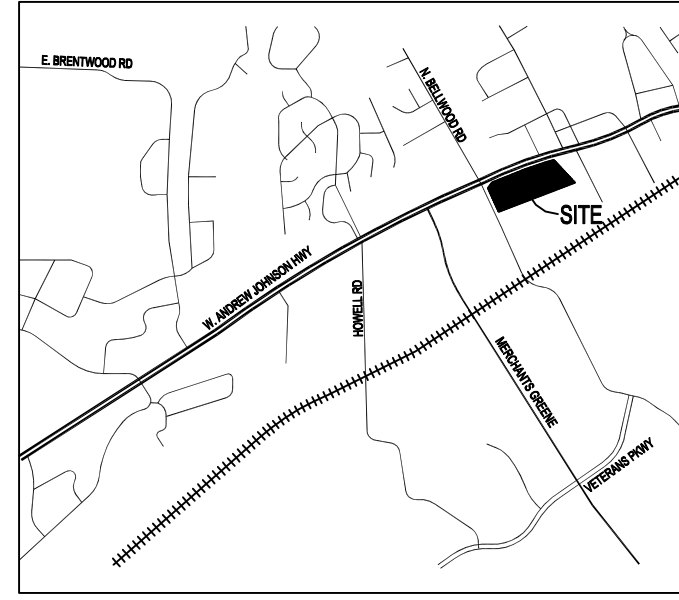
TRUE WARM & WELCOME
4158 ROBERTS LANE
MORRISTOWN, TN 37813

GRADING
PLAN

C05.0

TRUE WARM & WELCOME 2300 R3





LOCATION MAP

NOT TO SCALE

PROPOSED GRADING LEGEND

- 15' CMP
- IE
- RIM
- PROPOSED POLYPROPYLENE STORM SEWER PIPE
- LIMITS OF DISTURBANCE
- PROPOSED INVERT ELEVATION
- PROPOSED TOP OF GRATE ELEVATION
- PROPOSED STORM WATER CURB INLET
- PROPOSED STORM WATER AREA INLET

GENERAL GRADING NOTES

SEE SHEET C01.1 FOR GRADING NOTES

GRADING NOTE BLOCKS

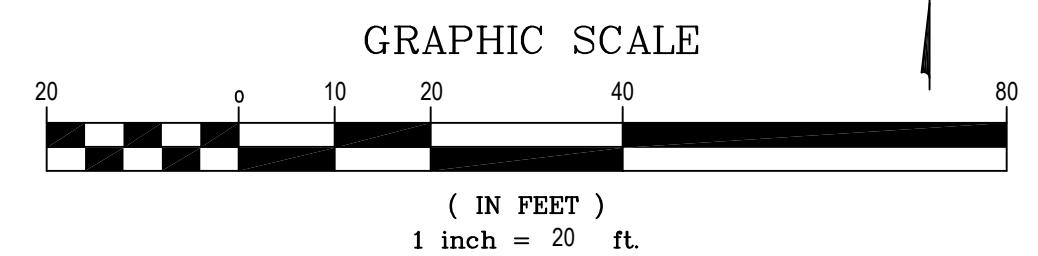
- LIMITS OF LAND DISTURBANCE
- PROVIDE CURB INLET - SEE THIS SHEET FOR ELEVATIONS - SEE DETAIL SHEET (C05.2)
- PROVIDE STORM SEWER PIPE - SEE THIS SHEET FOR ELEVATIONS - SEE DETAIL SHEET (C05.2)
- TIE TO ROOF DRAIN COLLECTOR FROM BUILDING - SEE PLUMBING PLANS FOR UNDERGROUND CONNECTION AT BUILDING - SEE ELEVATION THIS SHEET - OVERFLOW PIPE FROM ROOF DRAIN TO DAYLIGHT THROUGH FACE OF CURB - SEE PLUMBING PLANS AND FOR LOCATION
- PROVIDE 8"X8" WATER TIGHT HDPE WYE WITH 4"X8" REDUCER PER MANUFACTURER SPECS - SEE INVERT ELEVATION THIS SHEET
- PROVIDE WATER TIGHT POLYETHYLENE PIPE FOR ROOF DRAINS - SEE THIS SHEET FOR SIZE, TYPE AND ELEVATIONS
- PROVIDE AREA INLET - SEE THIS SHEET FOR ELEVATIONS - SEE DETAIL SHEET (C05.2)
- PROVIDE STORM SEWER CLEANOUT - SEE INVERT ELEVATION SHEET (C05.0) - SEE DETAIL SHEET (C05.2)

GRADING INFORMATION

LIMITS OF DISTURBANCE = 47,276 SF / 1.085 AC

CONSTRUCTION NOTE:
DESIGN OF THE PANDA EXPRESS SITE, AS SHOWN IN THESE PLANS, ARE BASED UPON THE PROPOSED CONSTRUCTION PLANS FOR THE SUBJECT PROPERTY AND SURROUNDING SITE WORK. CONTRACTOR SHALL FIELD VERIFY ELEVATIONS, UTILITIES, AND SITE FEATURES PRIOR TO ANY WORK DONE. NOTIFY OWNER/ENGINEER OF ANY CONFLICTS WITH DESIGN PRIOR TO ANY WORK DONE.

ALL DISTURBED AREA SHALL BE STABILIZED WITH SOD, COMMON TO THE REGION - SEE LANDSCAPE PLAN



FLOOD ZONE
THE SUBJECT PROPERTY IS LOCATED IN SPECIAL FLOOD HAZARD AREA ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS PER FLOOD LINES ESTABLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY AS SHOWN ON FLOOD INSURANCE RATE MAP NUMBER 47063C0130E, DATED: JULY 03, 2016

- BM-10
IRON ROD WITH CAP
NORTHING: 687497.397
EASTING: 2748273.040
ELEVATION: 1299.14'
- BM-150
NGS - F129
NORTHING: 686304.831
EASTING: 2748923.413
ELEVATION: 1270.72'



PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
Rosemead, California
91770
Telephone: 626.799.9898
Facsimile: 626.372.8268

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

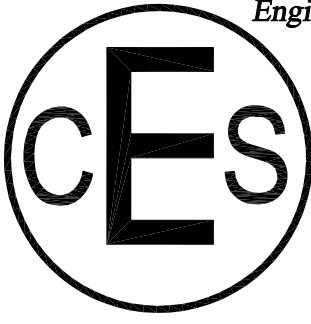
ISSUE DATE:

PERMIT / BID SET	03-03-22
CITY COMMENTS	04-29-22
ISSUE FOR BID	06-10-22

DRAWN BY: PTD

PANDA PROJECT #: S8-21-D8512
PANDA STORE #: D8512
ARCH PROJECT #: XXXXX-XXX

Civil Engineering Services
Engineering, Land Planning



7705 Spicer Farm Lane
Fairview, Tennessee
37062
Phone: (615) 533-0401

e-mail: ray@civilengineeringservices.net



PANDA EXPRESS

TRUE WARM & WELCOME
4158 ROBERTS LANE
MORRISTOWN, TN 37813

DRAINAGE PLAN

C05.1

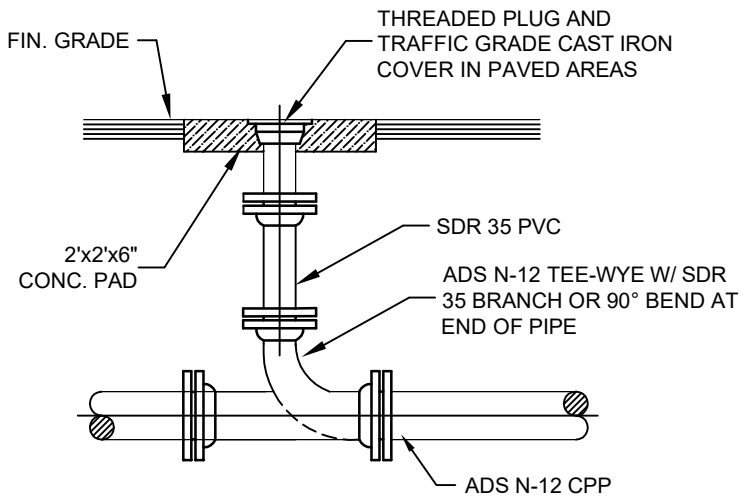
TRUE WARM & WELCOME 2300 R3

ISSUE FOR BID 06-10-22

ISSUE FOR BID 06-10-22

NOTE:

IN GRASS AREAS WHERE NO PAVEMENT IS PROPOSED, CONCRETE BLOCK SHALL NOT BE CONSTRUCTED.

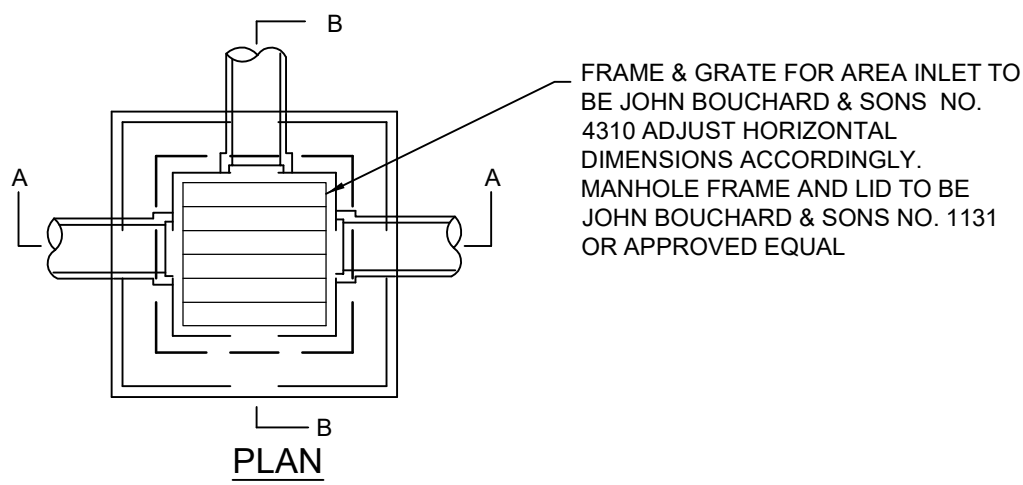


PRIVATE STORM SEWER CLEANOUT

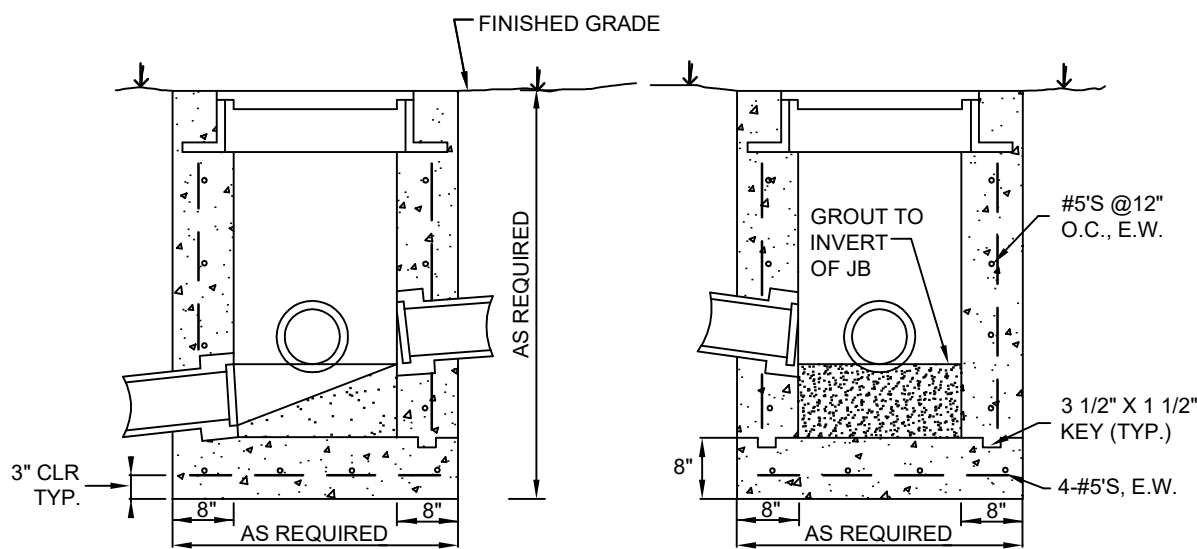
N.T.S.

NOTE

OPTIONAL CONSTRUCTION MATERIALS INCLUDE PRE-FAB. CONCRETE.



PLAN



SECTION A-A

SECTION B-B

AREA INLET/JUNCTION BOX

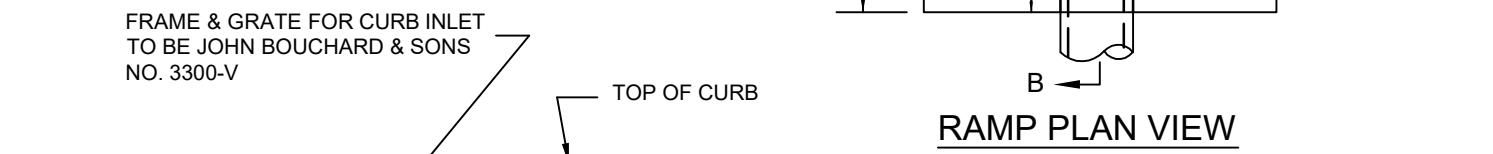
N.T.S.

NOTE:

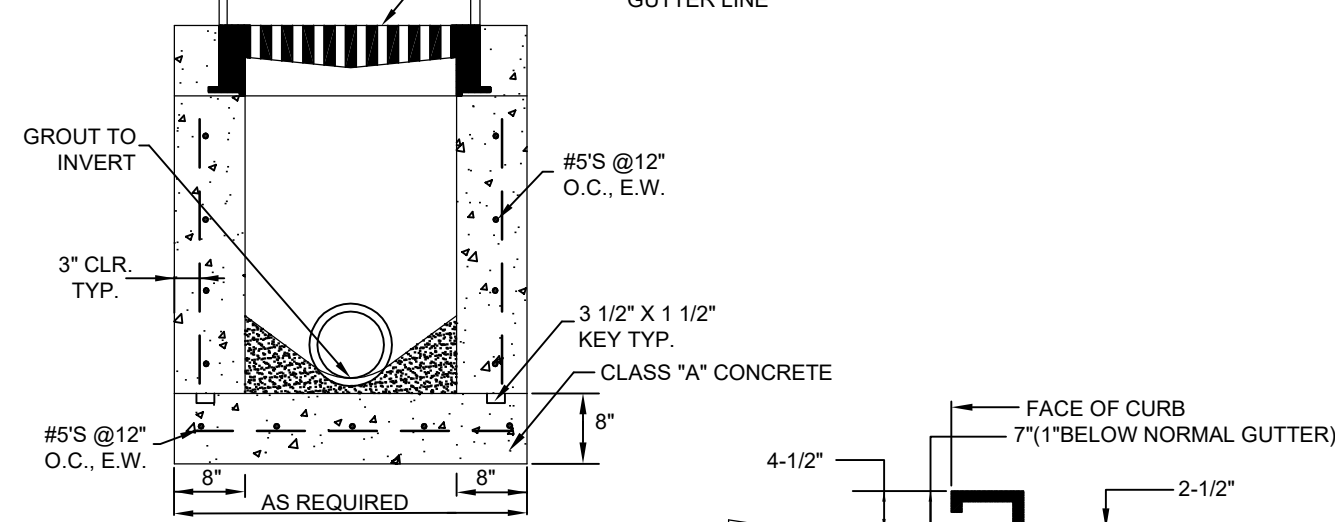
1. STORM WATER CURB INLET/AREA INLET TO HAVE ENVIRONMENTAL MESSAGE STAMPED INTO THE METAL "DUMP NO WASTE", "DRAINS TO STREAM".

2. THE CONTRACTOR SHALL POUR THE INVERTS IN ALL STORM WATER STRUCTURES.

3. OPTIONAL CONSTRUCTION PRE-FAB. CONCRETE EQUIVALENT.



RAMP PLAN VIEW

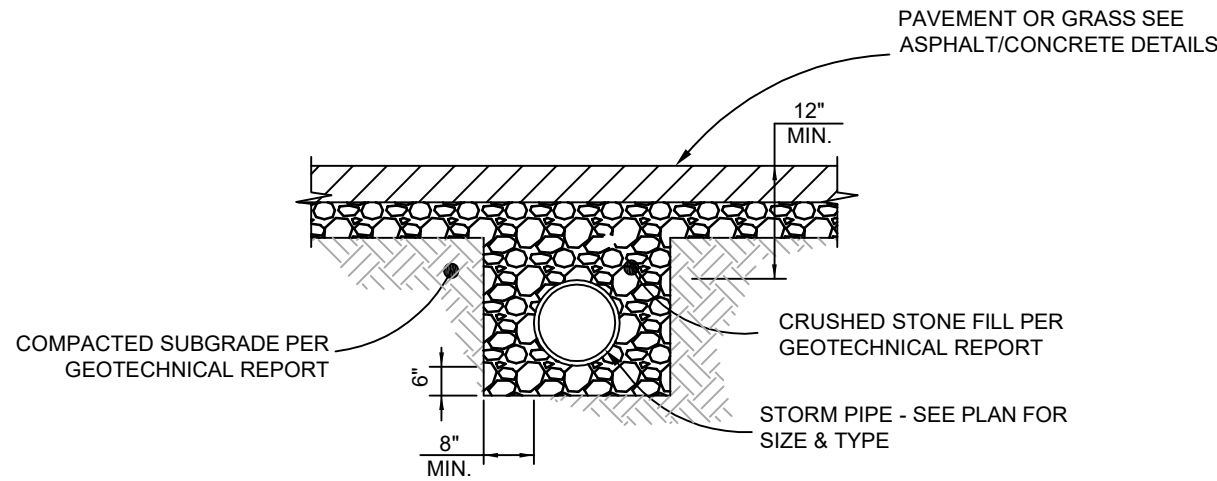


SECTION A-A

SECTION B-B

SINGLE CURB INLET

N.T.S.



STORM SEWER PIPE TRENCH DETAIL

N.T.S.



PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
Rosemead, California
91770

Telephone: 626.799.9898
Facsimile: 626.372.8288

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

ISSUE DATE:

PERMIT / BID SET	03-03-22
CITY COMMENTS	04-29-22
ISSUE FOR BID	06-10-22

DRAWN BY:

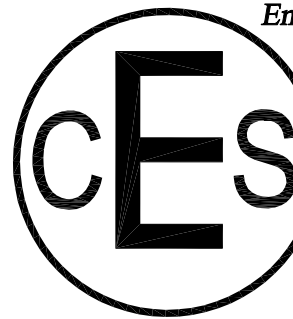
PTD

PANDA PROJECT #: S8-21-D8512

PANDA STORE #: D8512

ARCH PROJECT #: XXXXX-XXX

Civil Engineering Services
Engineering, Land Planning



7705 Spicer Farm Lane
Fairview, Tennessee
37062
Phone: (615) 533-0401

e-mail: ray@civilengineeringservices.net



04/29/2022

PANDA EXPRESS

TRUE WARM & WELCOME
4158 ROBERTS LANE
MORRISTOWN, TN 37813

GRADING DETAIL
SHEET

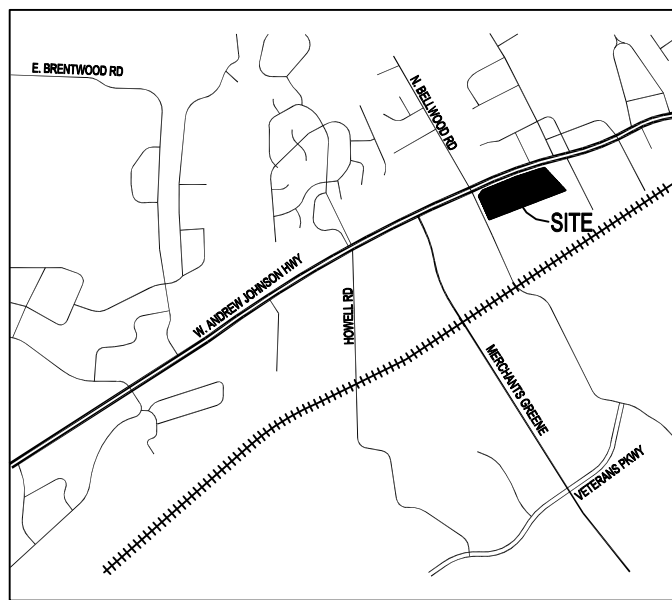
C05.2

TRUE WARM & WELCOME 2300 R3

ISSUE FOR BID 06-10-22

ISSUE FOR BID 06-10-22





LOCATION MAP

NOT TO SCALE

PROPOSED LEGEND

NOTE: ALL ITEMS SHOWN ON THESE PLANS TO BE CONSTRUCTED IN ACCORDANCE WITH THE TDEC EROSION PROTECTION & SEDIMENT CONTROL (EPSC) HANDBOOK, LATEST EDITION

- TEMPORARY CONSTRUCTION EXIT
- INSTALL INLET PROTECTION (SEE DETAIL SHEET)
- FS - INSTALL FILTER SOCK (SEE DETAIL SHEET)
- CONCRETE WASHOUT AREA

LIMITS OF DISTURBANCE

KEYNOTES

- LIMITS OF LAND DISTURBANCE
- INSTALL FILTREXX FILTER SOCK SEDIMENT PROTECTION OR APPROVED EQUAL - MAINTAIN THROUGHOUT CONSTRUCTION - FIELD ADJUST AS REQUIRED - SEE DETAIL SHEET (C06.2)
- CONCRETE WASHOUT PER EPA STANDARDS - CONTRACTOR TO FIELD ADJUST LOCATION ONSITE AS NEEDED - SEE DETAIL SHEET (C06.2)
- INSTALL FILTREXX INLET PROTECTION OR APPROVED EQUAL - SEE DETAIL SHEET (C06.2)
- TEMPORARY CONSTRUCTION ENTRANCE - SEE DETAIL SHEET (C06.2)

EROSION CONTROL NOTES

SEE SHEET C02.1 FOR EROSION CONTROL NOTES

GRADING INFORMATION

LIMITS OF DISTURBANCE = 47,278 SF / 1.085 AC

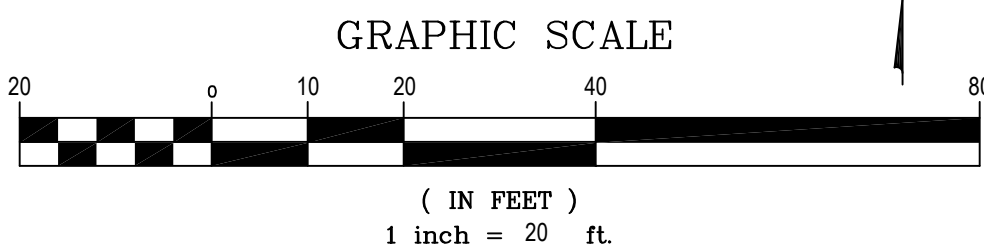
CONSTRUCTION NOTE:
DESIGN OF THE PANDA EXPRESS SITE, AS SHOWN IN THESE PLANS, ARE BASED UPON THE PROPOSED CONSTRUCTION PLANS FOR THE SUBJECT PROPERTY AND SURROUNDING SITE WORK. CONTRACTOR SHALL FIELD VERIFY ELEVATIONS, UTILITIES, AND SITE FEATURES PRIOR TO ANY WORK DONE. NOTIFY OWNER/ENGINEER OF ANY CONFLICTS WITH DESIGN PRIOR TO ANY WORK DONE

EQUIVALENT RESIDENTIAL UNITS
30,812 SQ.FT. IMPERVIOUS / 2400 SQ.FT. = 12.8 ERU

THERE ARE NO POST-CONSTRUCTION BMP'S PROPOSED FOR THIS PROJECT

- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING A SWPPP AND OBTAINING LAND DISTURBANCE PERMITS, INCLUDING COVERAGE UNDER CONSTRUCTION GENERAL STORM WATER PERMIT (CGP), FOR ANY / ALL OFF-SITE BORROW AND / OR DISPOSAL AREAS.
- AREAS OUTSIDE OF THE LIMITS OF DISTURBANCE AS SHOWN HEREON SHALL NOT BE DISTURBED.

ALL DISTURBED AREA SHALL BE STABILIZED WITH SOD, COMMON TO THE REGION - SEE LANDSCAPE PLAN



FLOOD ZONE
THE SUBJECT PROPERTY IS LOCATED IN SPECIAL FLOOD HAZARD AREA ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS PER FLOOD LINES ESTABLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY AS SHOWN ON FLOOD INSURANCE RATE MAP NUMBER 47063C0130E, DATED: JULY 03, 20160

BM-10
IRON ROD WITH CAP
NORTHING: 687497.397
EASTING: 2748273.040
ELEVATION: 1299.14'

BM-150
NGS - F129
NORTHING: 686304.831
EASTING: 2748923.413
ELEVATION: 1270.72'



PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
Rosemead, California
91770
Telephone: 626.799.9898
Facsimile: 626.372.6268

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

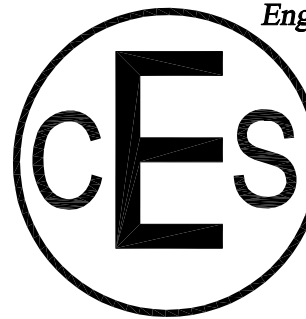
ISSUE DATE:

PERMIT / BID SET	03-03-22
CITY COMMENTS	04-29-22
ISSUE FOR BID	06-10-22

DRAWN BY: PTD

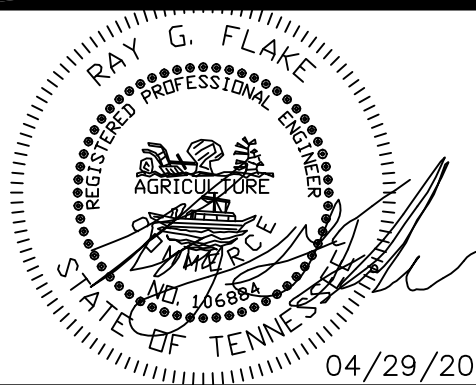
PANDA PROJECT #: S8-21-D8512
PANDA STORE #: D8512
ARCH PROJECT #: XXXXX-XXX

Civil Engineering Services
Engineering, Land Planning



7705 Spicer Farm Lane
Fairview, Tennessee
37062
Phone: (615) 533-0401

e-mail: ray@civilengineeringservices.net



04/29/2022

PANDA EXPRESS

TRUE WARM & WELCOME
4158 ROBERTS LANE
MORRISTOWN, TN 37813

FINAL EROSION CONTROL PLAN C06.1

TRUE WARM & WELCOME 2300 R3



PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
Rosemead, California
91770
Telephone: 626.799.9898
Facsimile: 626.372.6268

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

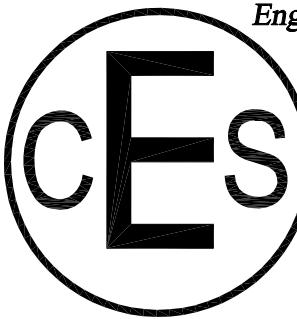
ISSUE DATE:

PERMIT / BID SET	03-03-22
CITY COMMENTS	04-29-22
ISSUE FOR BID	06-10-22

DRAWN BY: PTD

PANDA PROJECT #: S8-21-D8512
PANDA STORE #: D8512
ARCH PROJECT #: XXXXX-XXX

Civil Engineering Services
Engineering, Land Planning



7705 Spicer Farm Lane
Fairview, Tennessee
37062
Phone: (615) 533-0401

e-mail: ray@civilengineeringservices.net



04/29/2022

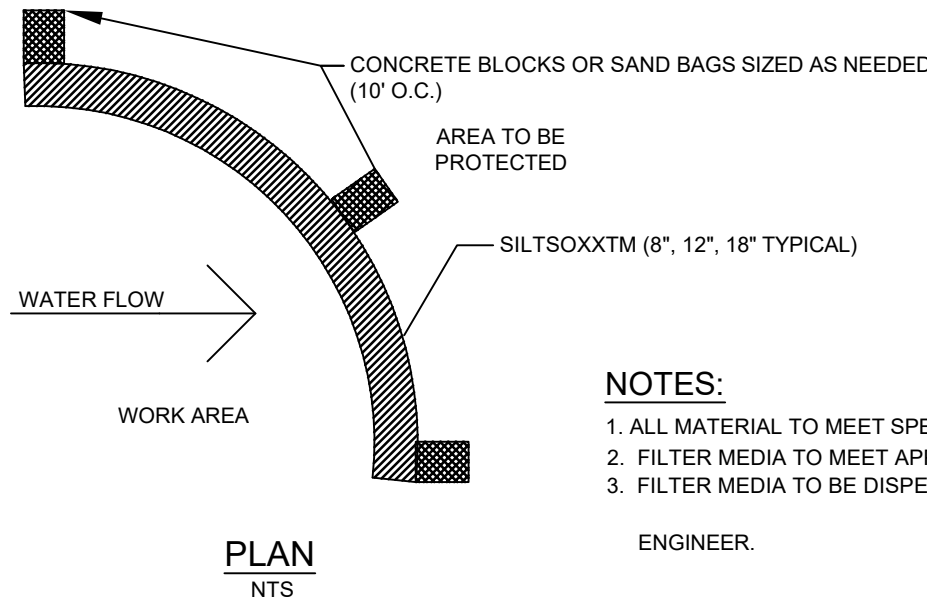
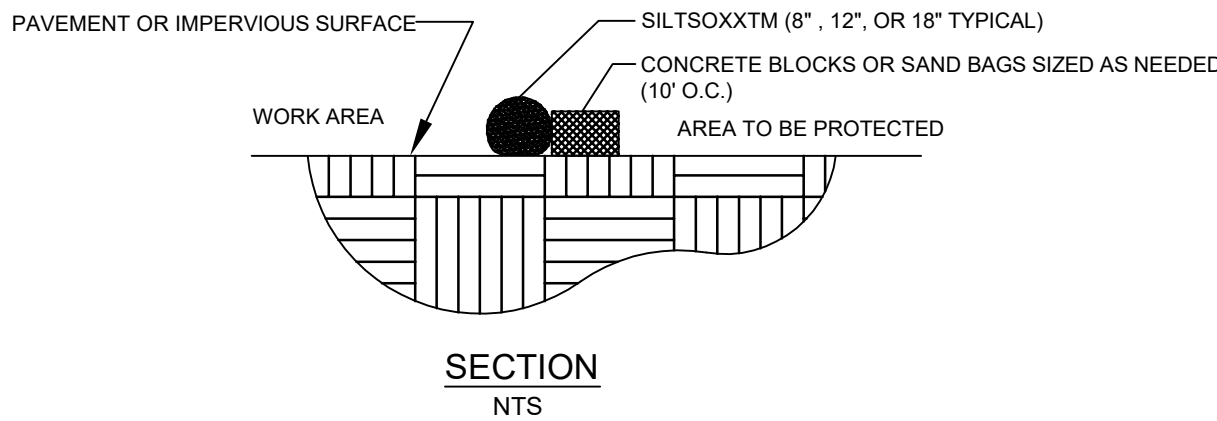
PANDA EXPRESS

TRUE WARM & WELCOME
4158 ROBERTS LANE
MORRISTOWN, TN 37813

EROSION
CONTROL PLAN
DETAILS

C06.2

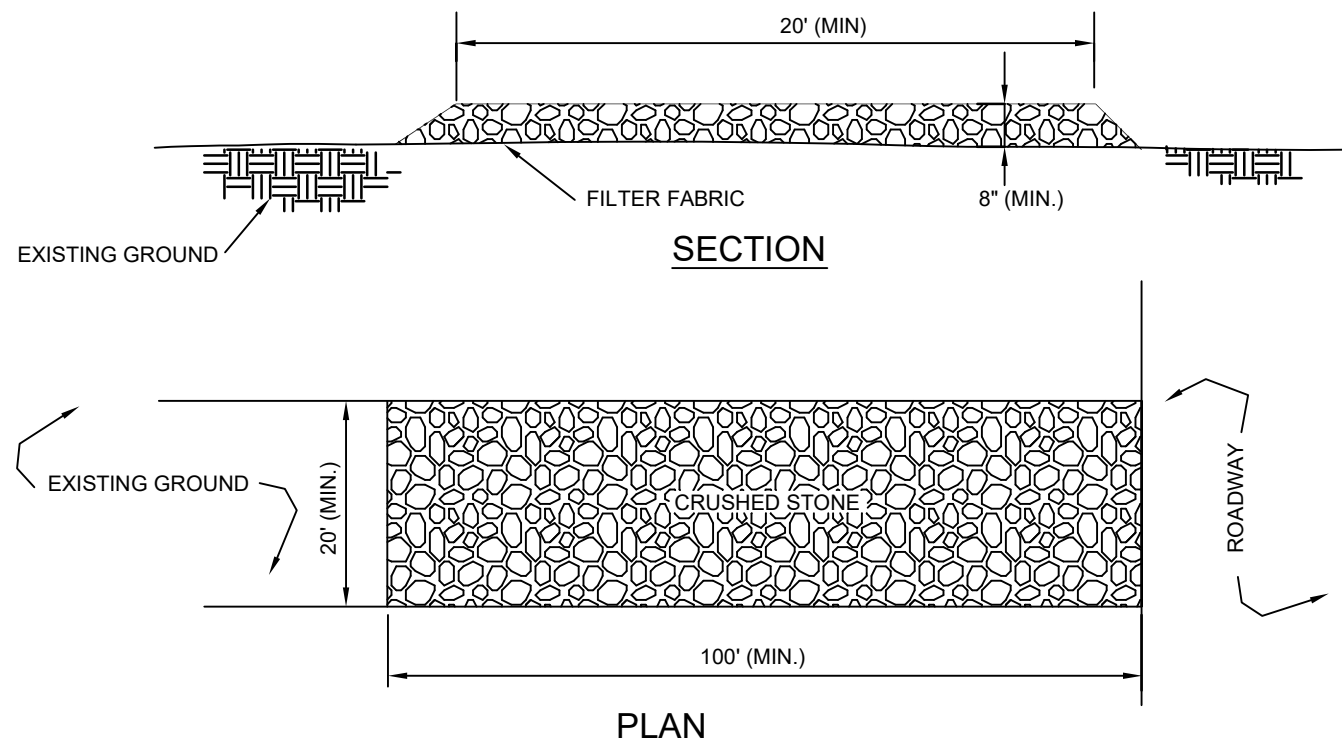
TRUE WARM & WELCOME 2300 R3



- NOTES:
1. ALL MATERIAL TO MEET SPECIFICATIONS.
 2. FILTER MEDIA TO MEET APPLICATION REQUIREMENTS.
 3. FILTER MEDIA TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

SILTXXXtm FOR SEDIMENT CONTROL

NTS

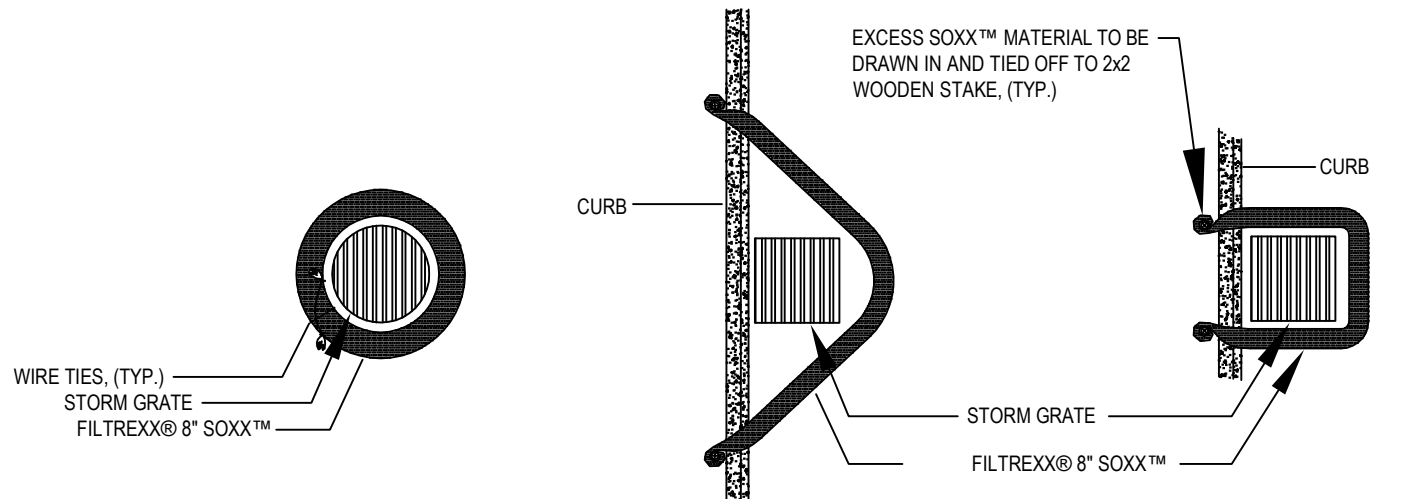


CONSTRUCTION SPECIFICATIONS:

1. -STONE SIZE - USE 2" TO 4" CRUSHED STONE.
2. -LENGTH - AS EFFECTIVE, BUT NOT LESS THAN 100'.
3. -THICKNESS - NOT LESS THAN EIGHT (8) INCHES.
4. -WIDTH - AS EFFECTIVE, BUT NOT LESS THAN 20'
5. -WASHING - WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE THROUGH USE OF SAND BAGS, GRAVEL, BOARDS, OR OTHER APPROVED METHODS.
6. -MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.

CONSTRUCTION ENTRANCE/EXIT

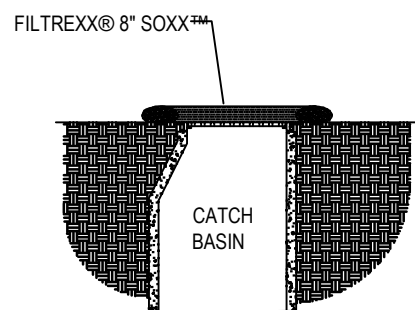
N.T.S.



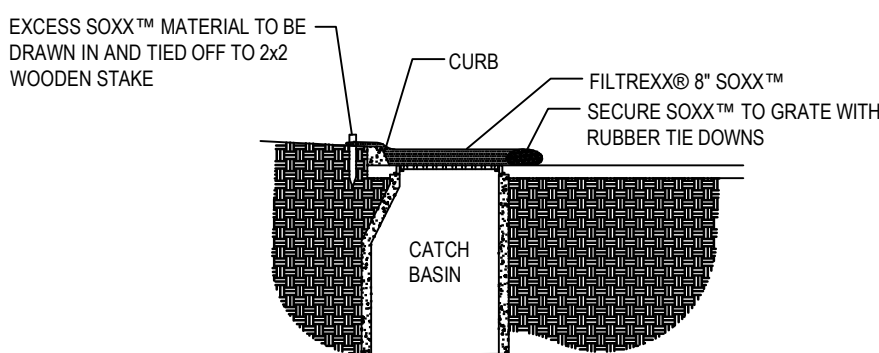
DRAIN INLET PLAN

CURBSIDE OPTION
"A" PLAN

CURBSIDE OPTION
"B" PLAN



DRAIN INLET SECTION



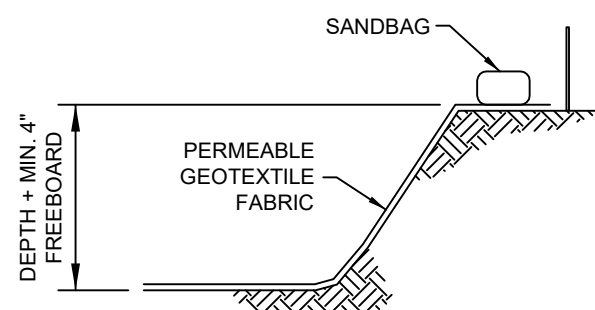
CURBSIDE SECTION

NOTES:

1. ALL MATERIAL TO MEET FILTERXXX® SPECIFICATIONS.
2. FILTER MEDIA™ FILL TO MEET APPLICATION REQUIREMENTS.
3. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

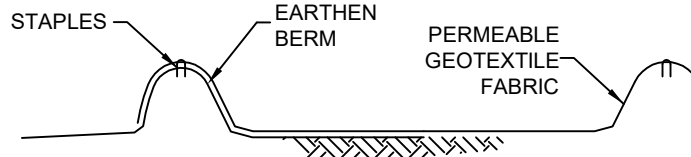
FILTERXXX® INLET PROTECTION

NTS



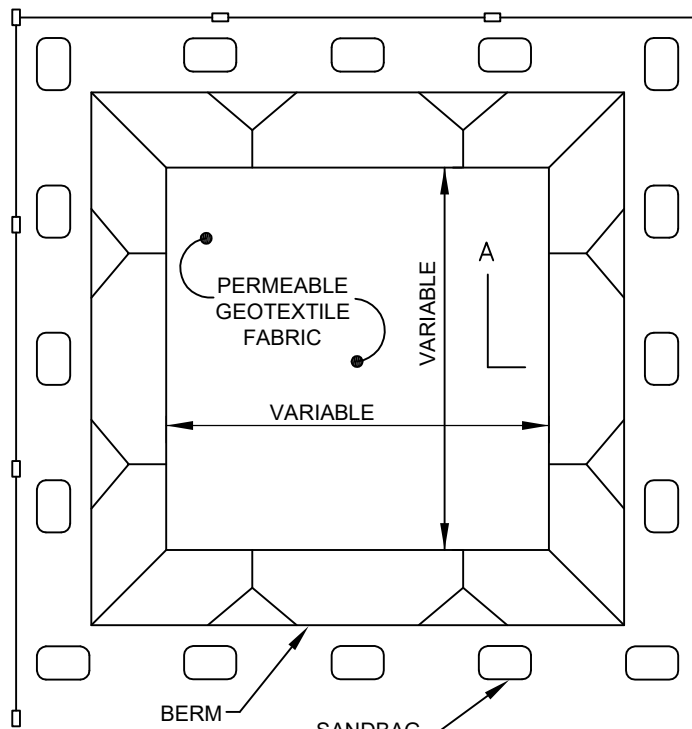
SECTION A-A

N.T.S.



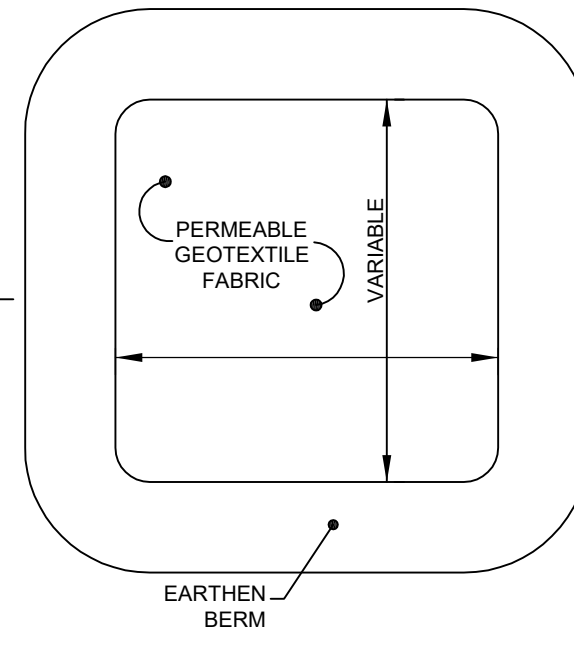
SECTION B-B

N.T.S.



PLAN VIEW TYPE "BELOW GRADE"

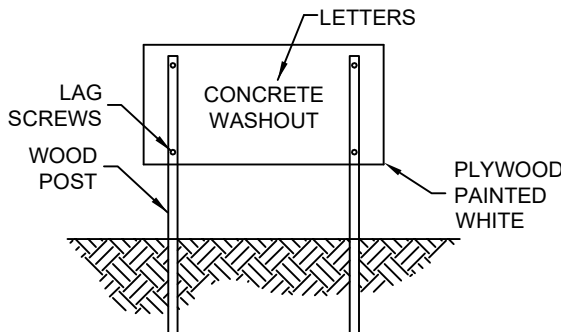
N.T.S.



PLAN VIEW TYPE "ABOVE GRADE"

WITH EARTHEN BERMS

N.T.S.



CONCRETE WASHOUT SIGN
(OR EQUIVALENT)

N.T.S.

CONCRETE WASHOUT

N.T.S.

NOTES:

1. ACTUAL LAYOUT DETERMINED IN THE FIELD.
2. SIGNAGE IDENTIFYING THE CONCRETE WASHOUT AREA SHALL BE INSTALLED WITHIN 5FT OF THE WASHOUT FACILITY.